

# PROPOSED MEDIUM DENSITY DEVELOPMENT

LOT 3 DP1226029

106 NEW ENGLAND HIGHWAY RUTHERFORD NSW 2320



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ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

*Anambah  
Constructions*

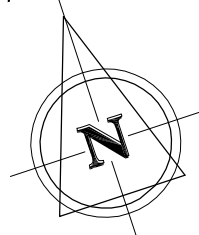
PTY LTD

Quality Masterbuilt Homes  
LICENCE No: 97781C

PHONE: (02) 4934 8910

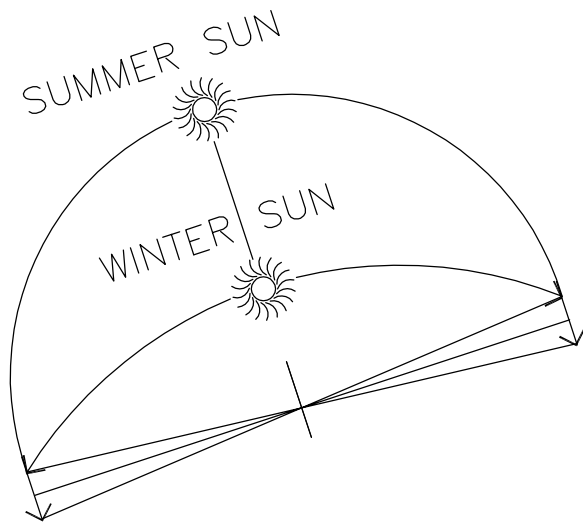
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

APPROX.



SUMMER SUN

WINTER SUN



CLIFT STREET

UPRIGHT KERB & GUTTER  
CONCRETE FOOTPATH  
DIRENWAY

LOT D  
DP 362226

LOT C  
DP 362226

LOT 1  
DP 662863

TEMPERATE  
NORTH EAST BREEZE

NORTH COAST RAIL LINE

SLOPE

ACCESS

NEW ENGLAND HIGHWAY

TEMPERATE  
SOUTH  
EASTERLY  
BREEZE

LOT 3  
DP 943366

## LEGEND

- ○ (PP) FENCE
- ■ (TEL) POWER POLE
- ● (HYD) TELSTRA PIT
- □ (WM) HYDRANT
- ○ (SAC) WATER METER
- ○ (SI) SEWER ACCESS CHAMBER
- □ (RW) SEWER INSPECTION PIT
- KIP ROOF WATER DRAIN
- KERB INLET PIT

'A' IAD EASEMENT, 1.2 WIDE.

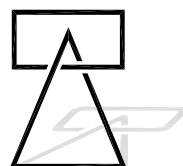
'B' IAD EASEMENT, 1.2 WIDE.

'E' EASEMENT TO DRAIN WATER, 1.5 WIDE (DP 1207787).

## EXISTING SITE ANALYSIS



SCALE 1:500 @ A3



RENNIE GOLLEDGE PTY. LTD.

SURVEYORS & PLANNERS

P.O. BOX 132 PH (02) 49334977  
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ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

PLANS BY

REV.	DATE	DESCRIPTION
B	25.01.2017	RE-DESIGN UNIT 1, PHASED DEVELOPMENT
A	04.11.2015	ISSUED FOR CONSTRUCTION

**Anambah Constructions**  
Quality Masterbuilt Homes  
LICENCE No 97781C  
PHONE: (02) 4934 8910

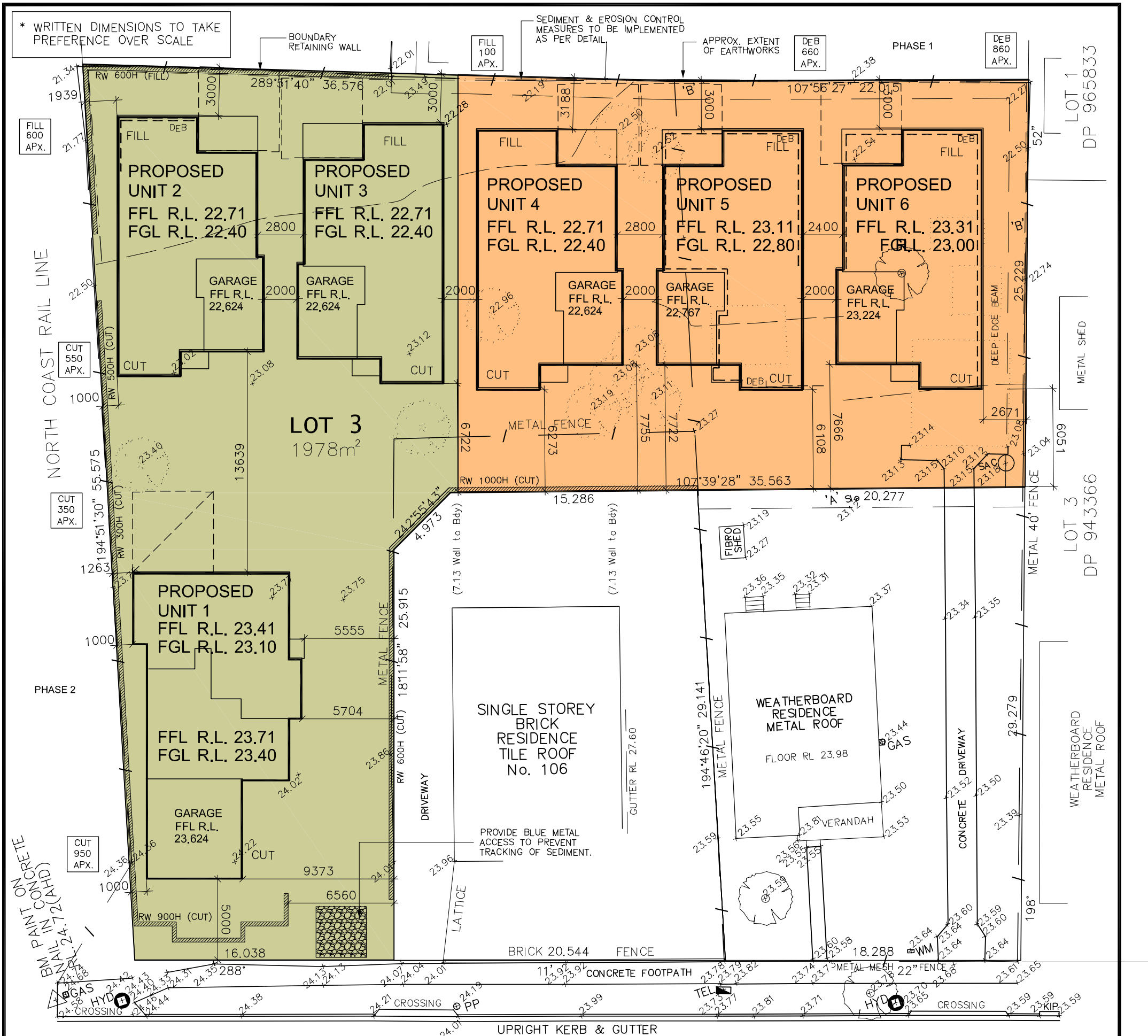
CLIENT  
ANAMBAH CONSTRUCTIONS

SITE ADDRESS  
LOT 3, DP 1226029  
106 NEW ENGLAND HWY  
RUTHERFORD NSW 2320

PROJECT  
PROPOSED MEDIUM  
DENSITY DEVELOPMENT

DRAWN AP 04.11.2015	CHECK: SCALE 1:500
JOB No. <b>143/15</b>	REV. <b>B</b> SHEET <b>2/43</b>





### SEDIMENT FENCE

N.T.S.

### SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



### RETAINING WALL DETAILS

WALL HEIGHT 'H' - (mm)	POST DIA (mm)	HOLE DIA (mm)	POST CENTRES (mm)	POST EMBEDMENT DEPTH 'D' (mm)
200-399	125	300	1200	400
400-599	125	300	1200	500
600-799	125	300	1200	700
700-999	125	300	1200	800
800-999	150	400	1200	800

NOTES:  
1. ALL WALLING TO BE EITHER:  
... "KOPPERS" ROUNDWOOD SLEEPER (170x70mm), OR  
... 75mm HALF-ROUND WALLING, OR  
... 100mm SLAB WALLING, OR  
... 200x50 TREATED PINE SLEEPER.  
2. POSTS AS PER TABLE SPACED AT 1200mm C/C.  
3. ALL TREATED PINE TO BE MIN GRADE H4.  
4. WALL BACKFILL IS TO BE CRUSHED ROCK OR RECYCLED CONCRETE (NOM 25-80mm SIZE).  
5. TWIN POSTS MAY BE USED IN LIEU OF SINGLE POSTS. REFER TO ENGINEER FOR DETAILS.  
6. IF A FENCE (MAX 1800 HIGH) IS TO BE INSTALLED AT THE TOP OF THE WALL, THE MEMBER SIZES USED IN CONSTRUCTION ARE TO BE BASED ON A WALL HEIGHT 300mm GREATER THAN THAT REQUIRED, I.E. FOR A 1200 HIGH WALL, USE MEMBER SIZES FOR A 1500 HIGH WALL. FENCES CAN BE CONSTRUCTED IN THE STANDARD MANNER, WITH POSTS EMBEDDED IN CONCRETE FOOTINGS. IN THIS CASE MAXIMUM WALL HEIGHT IS LIMITED TO 1800mm.  
7. MAXIMUM ALLOWABLE SURFACE SLOPE BEHIND THE WALL IS 1V:10H. IF BACKFILL SLOPES ARE GREATER THAN THIS THEN WALL LAYOUTS WILL BE MODIFIED TO SUIT.  
8. STRUCTURES LOCATED WITHIN THE ZONE OF INFLUENCE OF THE WALL ARE TO BE ADEQUATELY SUPPORTED AGAINST SUBSIDENCE OR COLLAPSE OF THE WALL. REFER TO THE ENGINEER FOR DETAILS.  
9. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE "KOPPERS DESIGN GUIDE: CANTILEVER RETAINING WALLS - KOPPERS ROUNDWOOD POSTS", DECEMBER 2005 EDN.

### "KOPPERS" LOG RETAINING WALL DETAIL

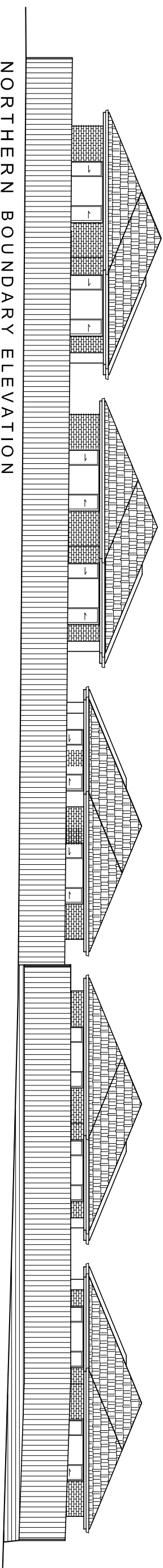
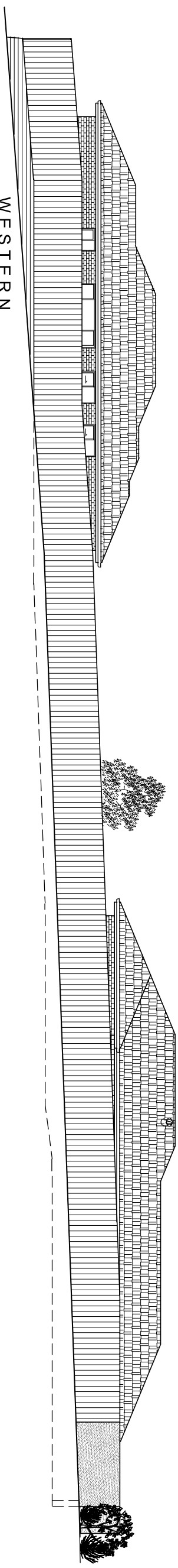
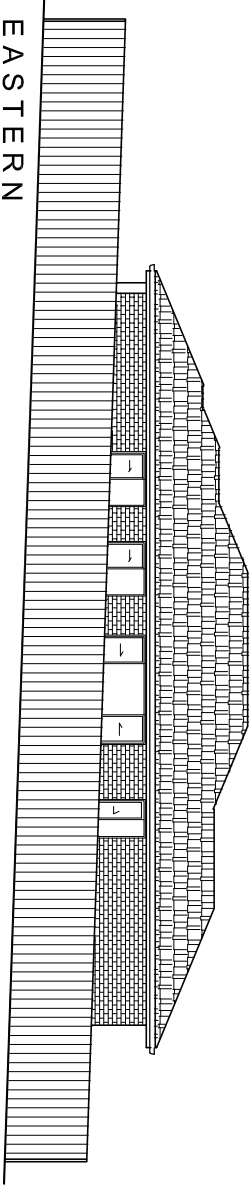
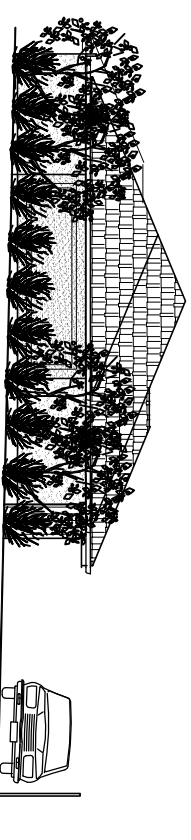
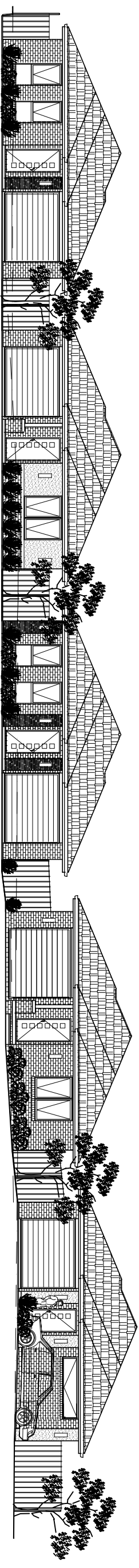
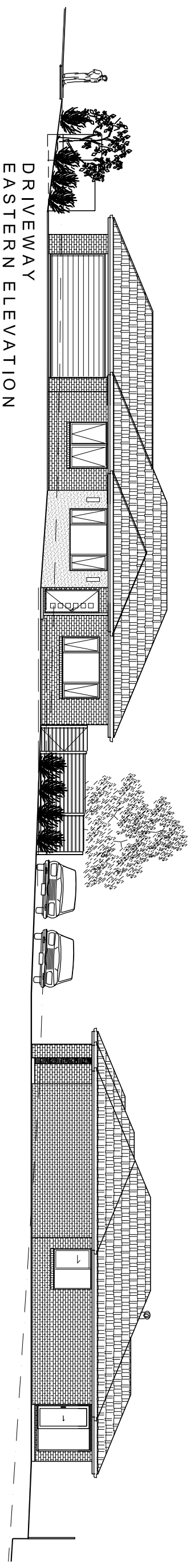
(FOR CLAY SUBGRADE, WITH CRUSHED ROCK BACKFILL)


<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>		PLANS BY		F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	<div><p>Quality Masterbuilt Homes LICENCE No: 97781C</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT		ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
		D	30.03.2017	RE POSITION UNITS 6 & 7	SITE ADDRESS			LOT 3, DP 1226029		DRAWN	CHECK:	SCALE		
		B	25.01.2017	RE-DESIGN UNIT 1, PHASED DEVELOPMENT	106 NEW ENGLAND HWY			AP 04.11.2015				1:250		
		A	04.11.2015	ISSUED FOR CONSTRUCTION	RUTHERFORD NSW 2320			JOB No.		REV.	SHEET			
		REV.	DATE	DESCRIPTION				143/15		F	3/43			





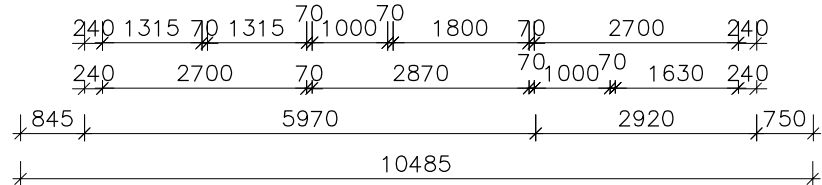
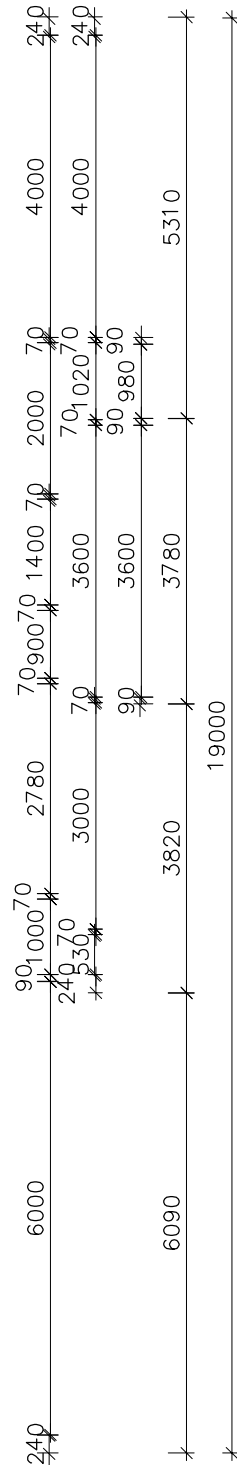
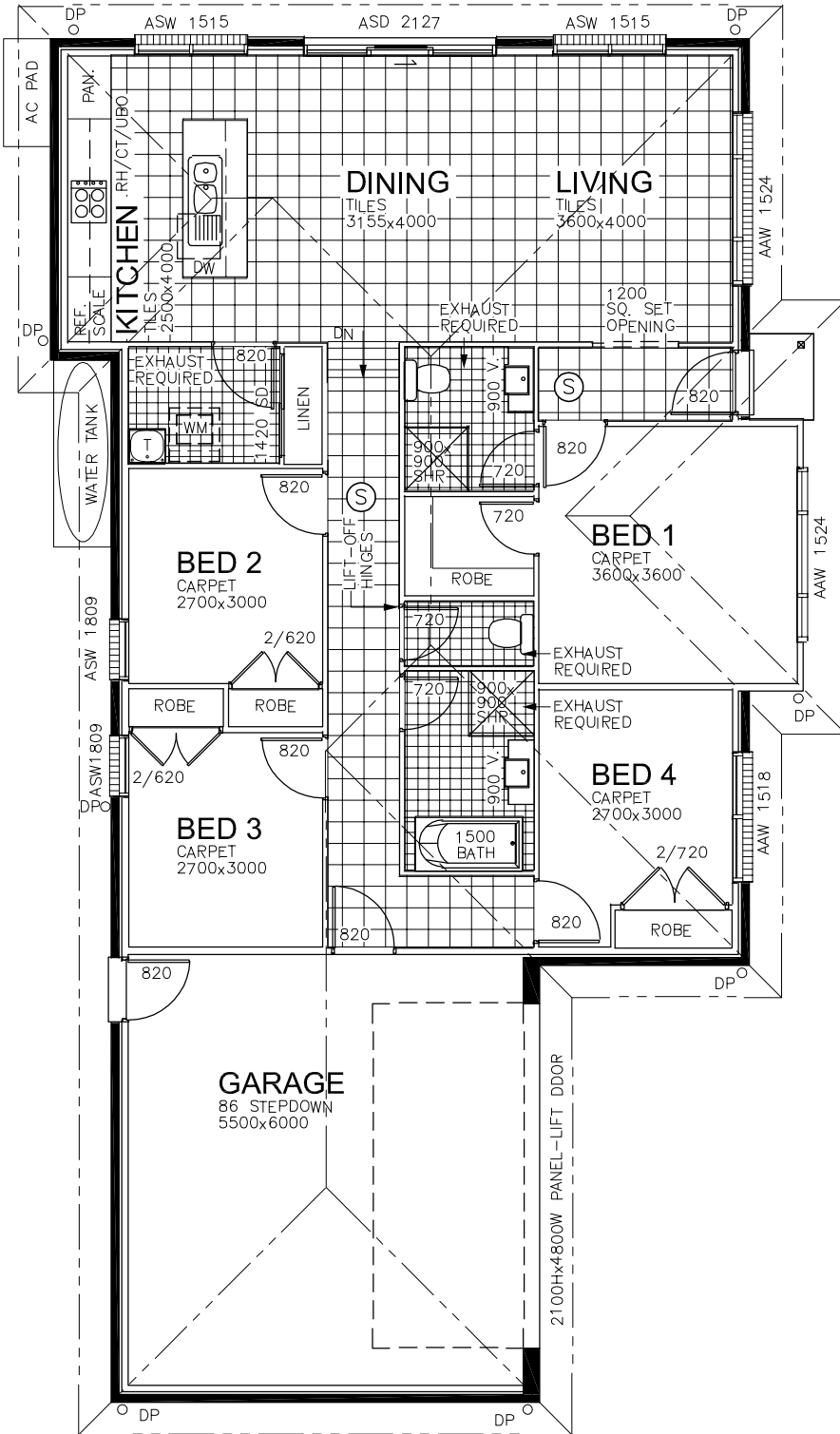
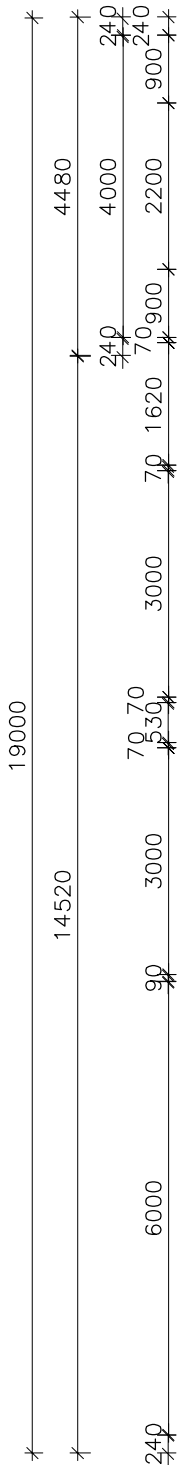
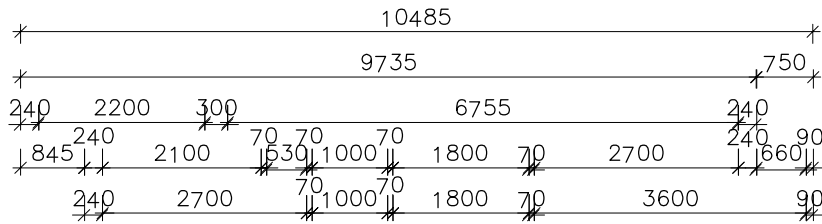
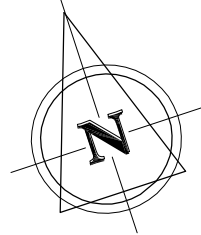




<div><div><div>urbanliving solutions</div></div><div>PO Box 646 Vaucliff NSW 2320 - M(0401) 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN DEVELOPMENT &amp; ASSESSMENT</div></div>				PLANS BY			
F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL					
D	30.03.2017	RE POSITION UNITS 6 & 7					
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A	04.11.2015	ISSUED FOR CONSTRUCTION					
REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION		
<div><div>Anambah Constructions <small>Quality Masterbuilt Homes</small> <small>LICENCE No: 27781C</small> PHONE: (02) 4934 8910</div></div>							
CLIENT			PROJECT				
ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT				
SITE ADDRESS			DRAWN		CHECK:		
LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320			AP 04.11.2015		SCALE		
			JOB No.		SHEET		
			143/15		6/43		
			REV. F				

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

APPROX.




UNIT 1  
FLOOR PLAN

HOUSE: 120.05m<sup>2</sup>  
GARAGE: 37.25m<sup>2</sup>  
PATIO: 1.08m<sup>2</sup>  
TOTAL: 158.38m<sup>2</sup>



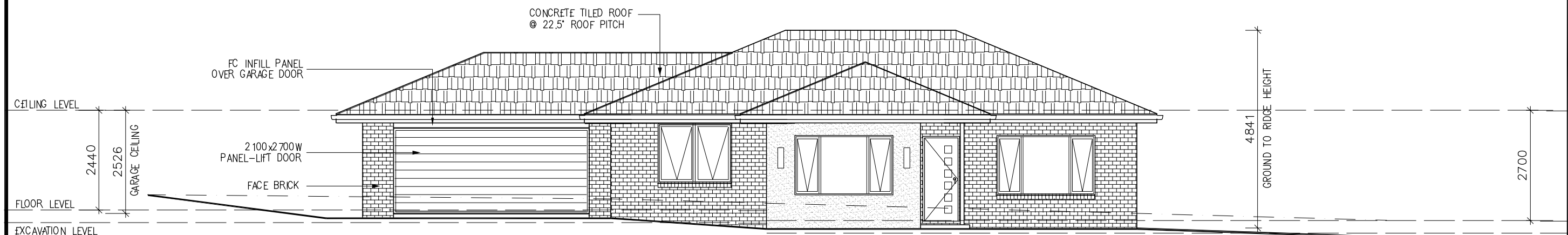
Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDV/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway, Rutherford, NSW 2320  
www.nathers.gov.au



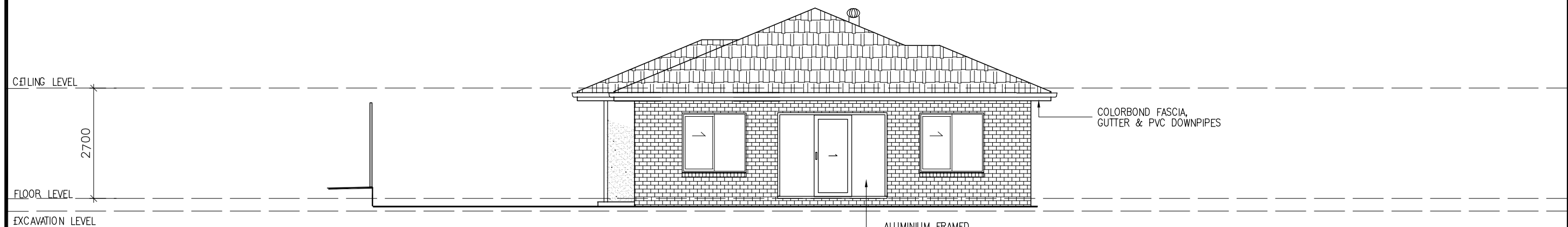
 PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT	PLANS BY		CLIENT		PROJECT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	ANAMBAH CONSTRUCTIONS	PROPOSED MEDIUM DENSITY DEVELOPMENT		
	E	05.06.2017	ADD A/C				
	C	12.03.2017	AMEND CEILING HEIGHTS TO UNITS 1 & 2	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320	DRAWN AP 04.11.2015 CHECK: SCALE 1:100		
	B	25.01.2017	RE-DESIGN UNIT 1, PHASED DEVELOPMENT				
REV. DATE DESCRIPTION			Anambah Constructions Quality Masterbuilt Homes LCB/CEN/97781C PHONE: (02) 4934 8910		JOB No. 143/15 REV. F SHEET 7/43		



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EASTERN ELEVATION



NORTHERN ELEVATION

UNIT 1  
ELEVATIONS



Average star rating  
**6.0**

Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDV/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway  
Rutherford, NSW 2320



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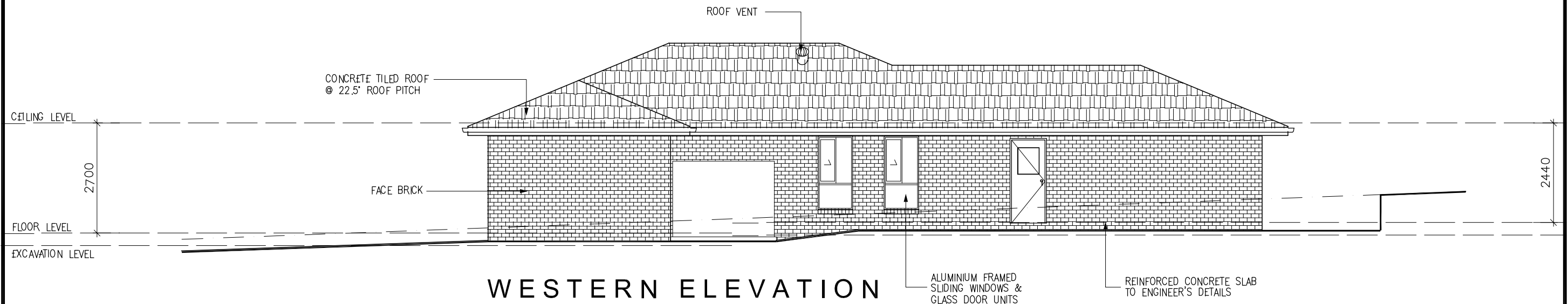
PLANS BY			CLIENT			PROJECT		
 PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN DEVELOPMENT & ASSESSMENT			ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT		
F 12.09.2017 RE-DESIGN UNIT 1, 6 UNITS TOTAL			SITE ADDRESS			DRAWN	CHECK:	SCALE
B 25.01.2017 RE-DESIGN UNIT 1, PHASED DEVELOPMENT			LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320			AP 04.11.2015		1:500
A 04.11.2015 ISSUED FOR CONSTRUCTION						JOB No.	REV.	SHEET
REV. DATE DESCRIPTION						143/15	F	8/43



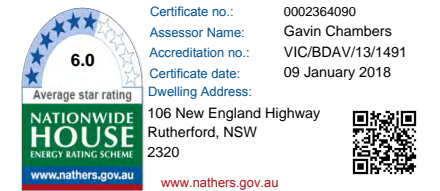
Quality Masterbuilt Homes  
LICENCE No: 97781C  
PHONE: (02) 4934 8910




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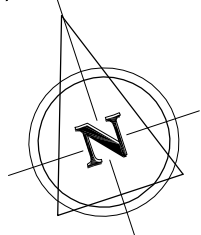
## UNIT 1 ELEVATIONS



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F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL					SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320	DRAWN AP 04.11.2015		CHECK:	SCALE 1:500			
B	25.01.2017	RE-DESIGN UNIT 1, PHASED DEVELOPMENT												
A	04.11.2015	ISSUED FOR CONSTRUCTION						JOB No. <b>143/15</b>		REV. <b>F</b>	SHEET <b>9/43</b>			
REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION									

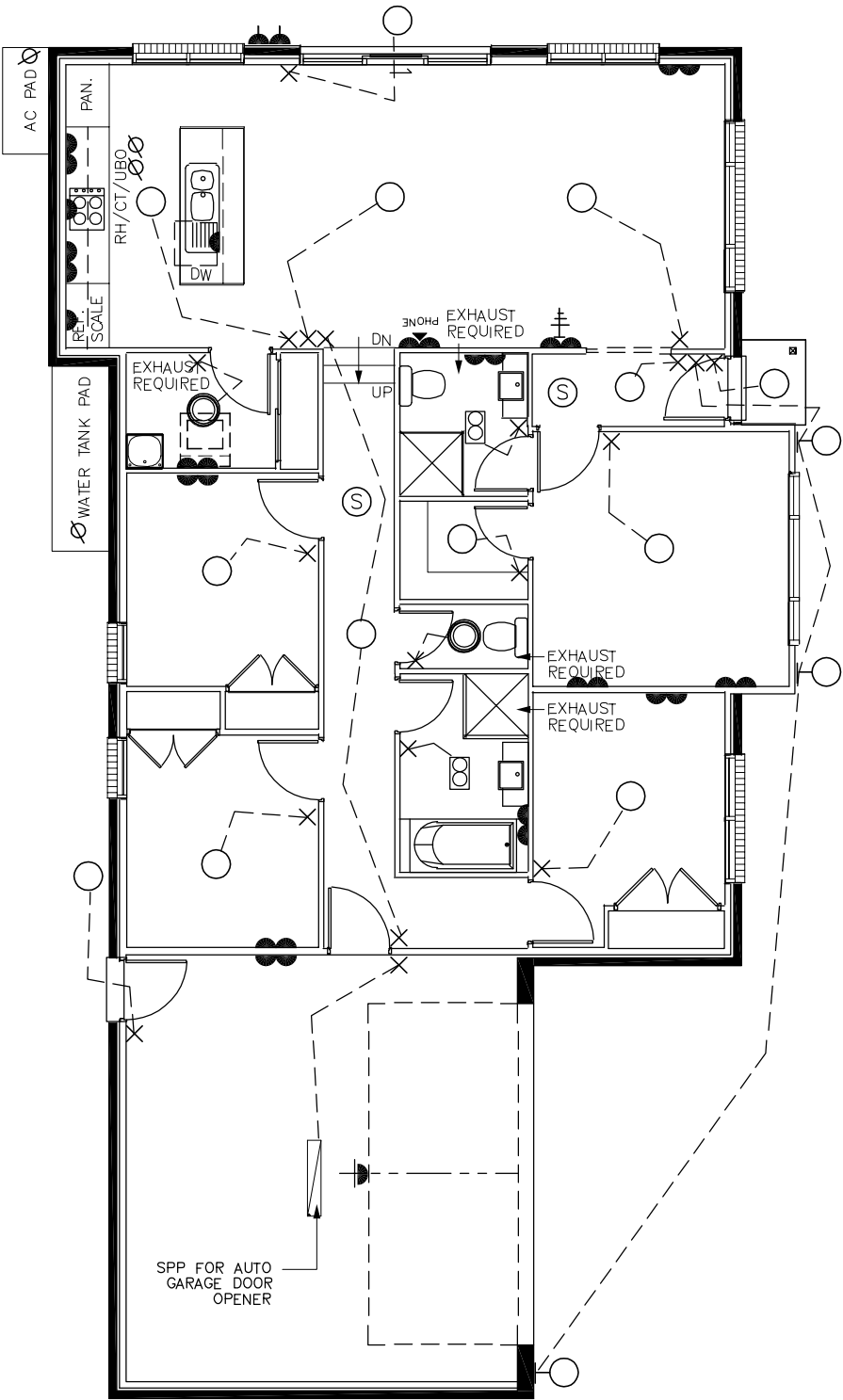
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APPROX.





ELECTRICAL LEGEND

- BATTEN HOLDER – CEILING
- BATTEN HOLDER – WALL
- PERMANENT POWER
- FLUORESCENT LIGHT
- SWITCH POSITION
- SINGLE POWER POINT
- DOUBLE POWER POINT
- WEATHERPROOF DOUBLE POWER POINT
- EXHAUST FAN/LIGHT
- FLOOD LIGHT
- SMOKE DETECTOR
- PHONE/FAX POINT
- TV POINT
- I.X.L. TASTIC FAN/LIGHT/HEATER
- I.X.L. TASTIC FAN/LIGHT/HEATER
- DOWNLIGHT
- CEILING FAN
- A/C AIR CONDITIONING

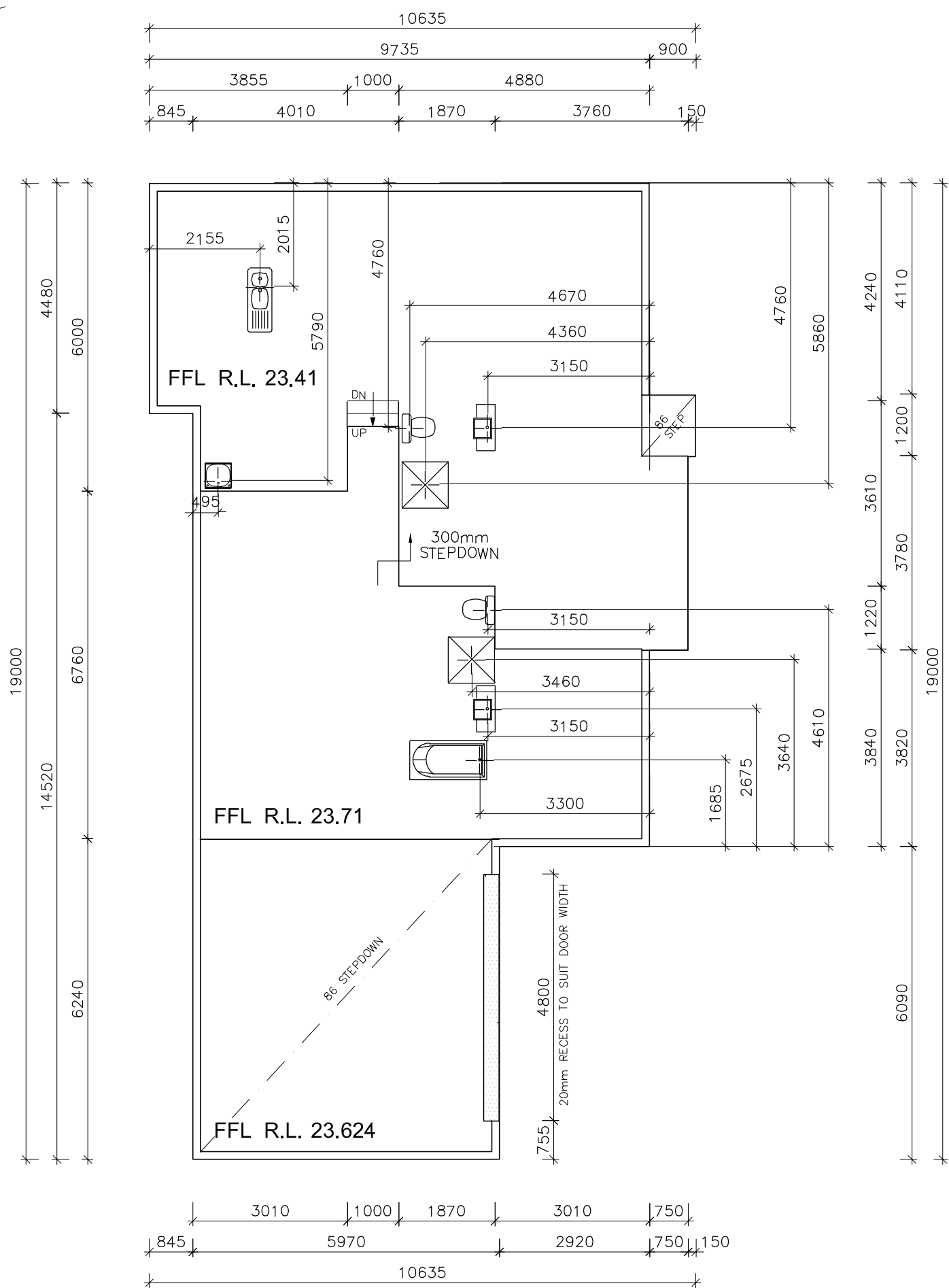
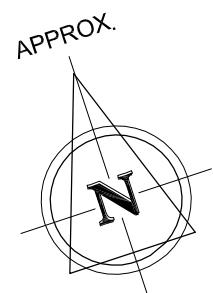


UNIT 1  
ELECTRICAL LAYOUT


 PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT	PLANS BY		F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	 Quality Masterbuilt Homes LCB/CENr 97781C PHONE: (02) 4934 8910	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
			E	05.06.2017	ADD A/C		SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
			B	25.01.2017	RE-DESIGN UNIT 1, PHASED DEVELOPMENT				JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>10/43</b>
			A	04.11.2015	ISSUED FOR CONSTRUCTION						
			REV.	DATE	DESCRIPTION						



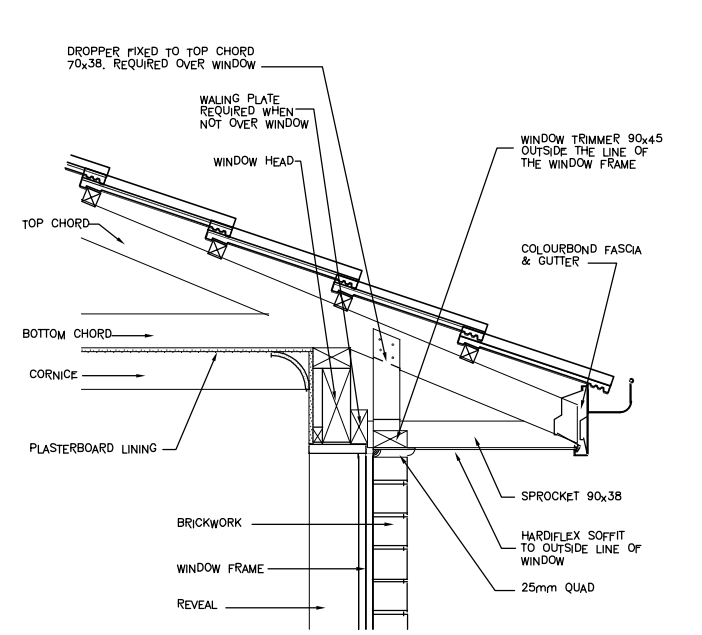
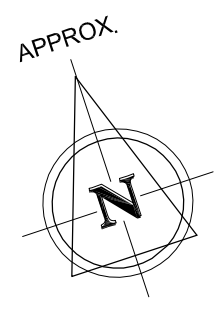
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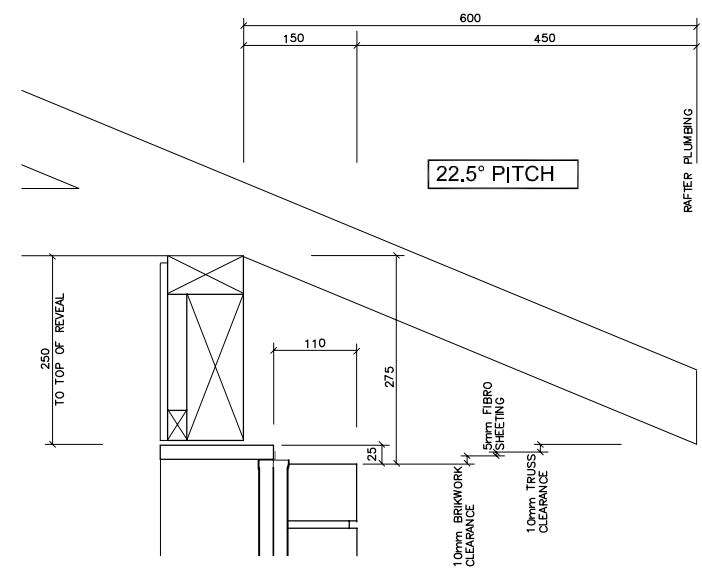
UNIT 1  
SLAB PLAN &  
PLUMBING LAYOUT

  PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au  ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT	PLANS BY		F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	  Quality Masterbuilt Homes LCB/CEN/97781C  PHONE: (02) 4934 8910	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
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			A	04.11.2015	ISSUED FOR CONSTRUCTION						
			REV.	DATE	DESCRIPTION						

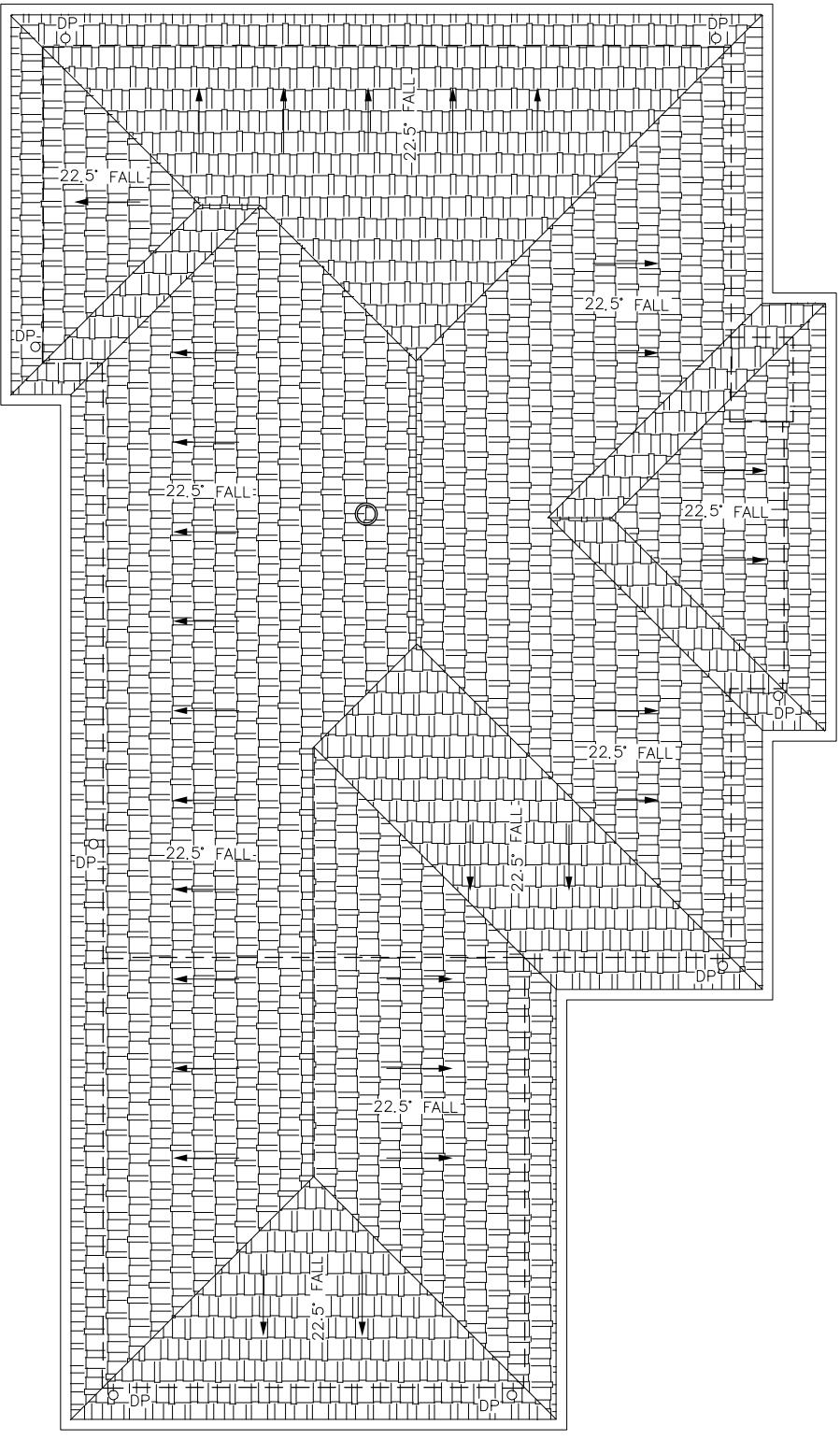
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



EAVE DETAIL  
SCALE 1:20



DROP-OFF DETAIL  
SCALE 1:10



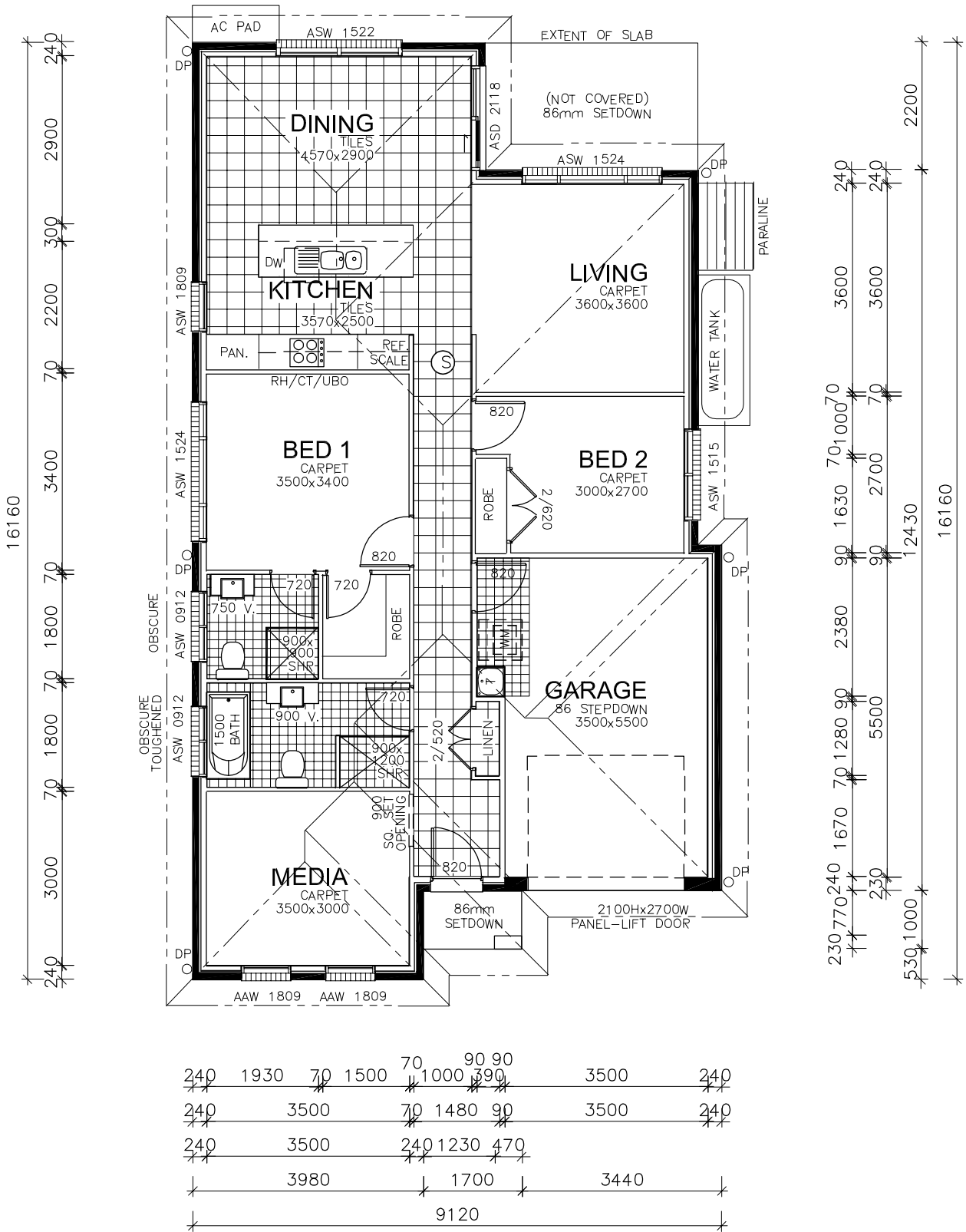
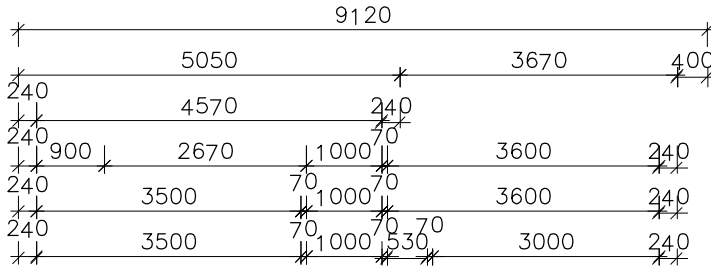
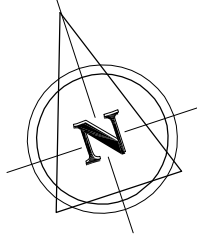
UNIT 1  
ROOF PLAN

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY			<div><p>Quality Masterbuilt Homes LICENCE No 977810</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT	PROJECT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL		ANAMBAH CONSTRUCTIONS	PROPOSED MEDIUM DENSITY DEVELOPMENT		
	B	25.01.2017	RE-DESIGN UNIT 1, PHASED DEVELOPMENT		SITE ADDRESS	DRAWN	CHECK:	SCALE
	A	04.11.2015	ISSUED FOR CONSTRUCTION		LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320	AP 04.11.2015		1:100
	REV.	DATE	DESCRIPTION			JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>12/43</b>



\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

APPROX.





# UNIT 2 FLOOR PLAN

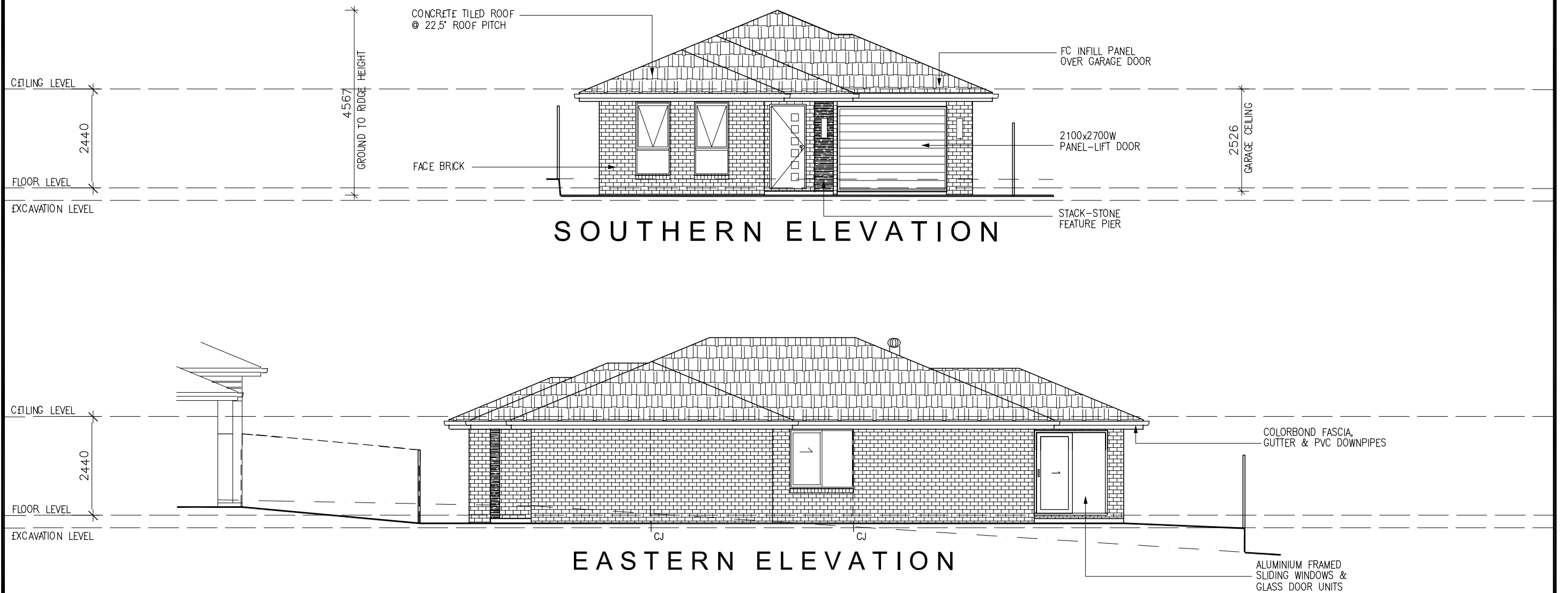
HOUSE: 106.92m2  
GARAGE: 22.67m2  
PATIO: 1.70m2  
TOTAL: 131.29m2

Average star rating  
**6.0**  
www.nathers.gov.au

Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDV/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway  
Rutherford, NSW 2320



<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>		PLANS BY					<div><p>Quality Masterbuilt Homes LICENCE No 977816</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
		F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL				SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
		E	05.06.2017	ADD A/C								
		A	04.11.2015	ISSUED FOR CONSTRUCTION						JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>13/43</b>
		REV.	DATE	DESCRIPTION								

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



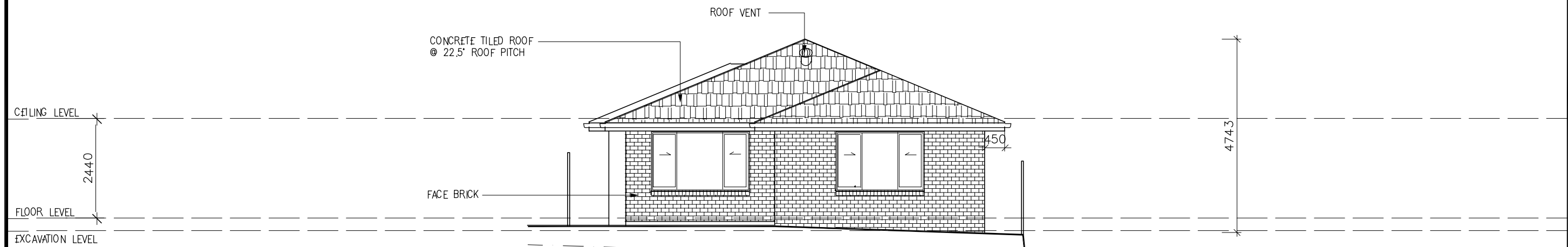
## UNIT 2 ELEVATIONS



<div><p>PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN DEVELOPMENT &amp; ASSESSMENT</p></div>			PLANS BY						<div><p>Quality Masterbuilt Homes LICENCE No: 97781C</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
										SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:500
												JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>14/43</b>
			REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION						
			F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL									
			A	04.11.2015	ISSUED FOR CONSTRUCTION									



\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



NORTHERN ELEVATION



WESTERN ELEVATION

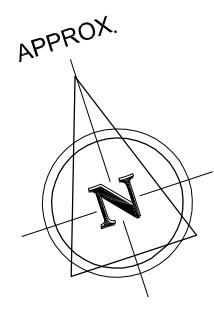
UNIT 2  
ELEVATIONS



Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDV/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway Rutherford, NSW 2320  
www.nathers.gov.au

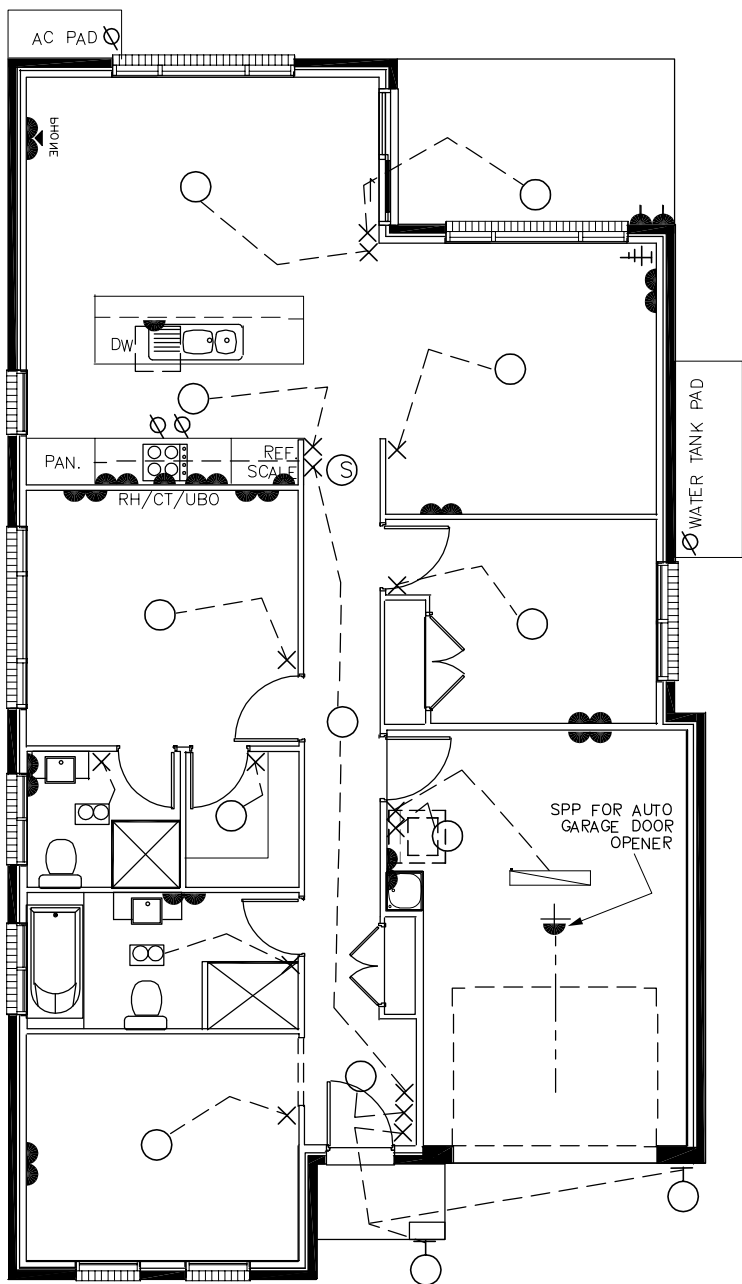
PLANS BY			CLIENT			PROJECT		
 PO Box 648 V/11land NSW 2320 - V/c: 0401 002 099 - E: info@urbanlivingnsolutions.com.au ENERGY SMART DESIGN DEVELOPMENT & ASSESSMENT			ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT		
F 12.09.2017 RE-DESIGN UNIT 1, 6 UNITS TOTAL			SITE ADDRESS			DRAWN	CHECK:	SCALE
E 05.06.2017 ADD A/C			LOT 3, DP 1226029			AP 04.11.2015		1:500
A 04.11.2015 ISSUED FOR CONSTRUCTION			106 NEW ENGLAND HWY			JOB No.	REV.	SHEET
REV. DATE DESCRIPTION			RUTHERFORD NSW 2320			143/15	F	15/43

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE





ELECTRICAL LEGEND

- BATTEN HOLDER – CEILING
- BATTEN HOLDER – WALL
- PERMANENT POWER
- FLUORESCENT LIGHT
- SWITCH POSITION
- SINGLE POWER POINT
- DOUBLE POWER POINT
- WEATHERPROOF DOUBLE POWER POINT
- EXHAUST FAN/LIGHT
- FLOOD LIGHT
- SMOKE DETECTOR
- PHONE/FAX POINT
- TV POINT
- I.X.L. TASTIC FAN/LIGHT/HEATER
- I.X.L. TASTIC FAN/LIGHT/HEATER
- DOWNLIGHT
- CEILING FAN
- A/C AIR CONDITIONING

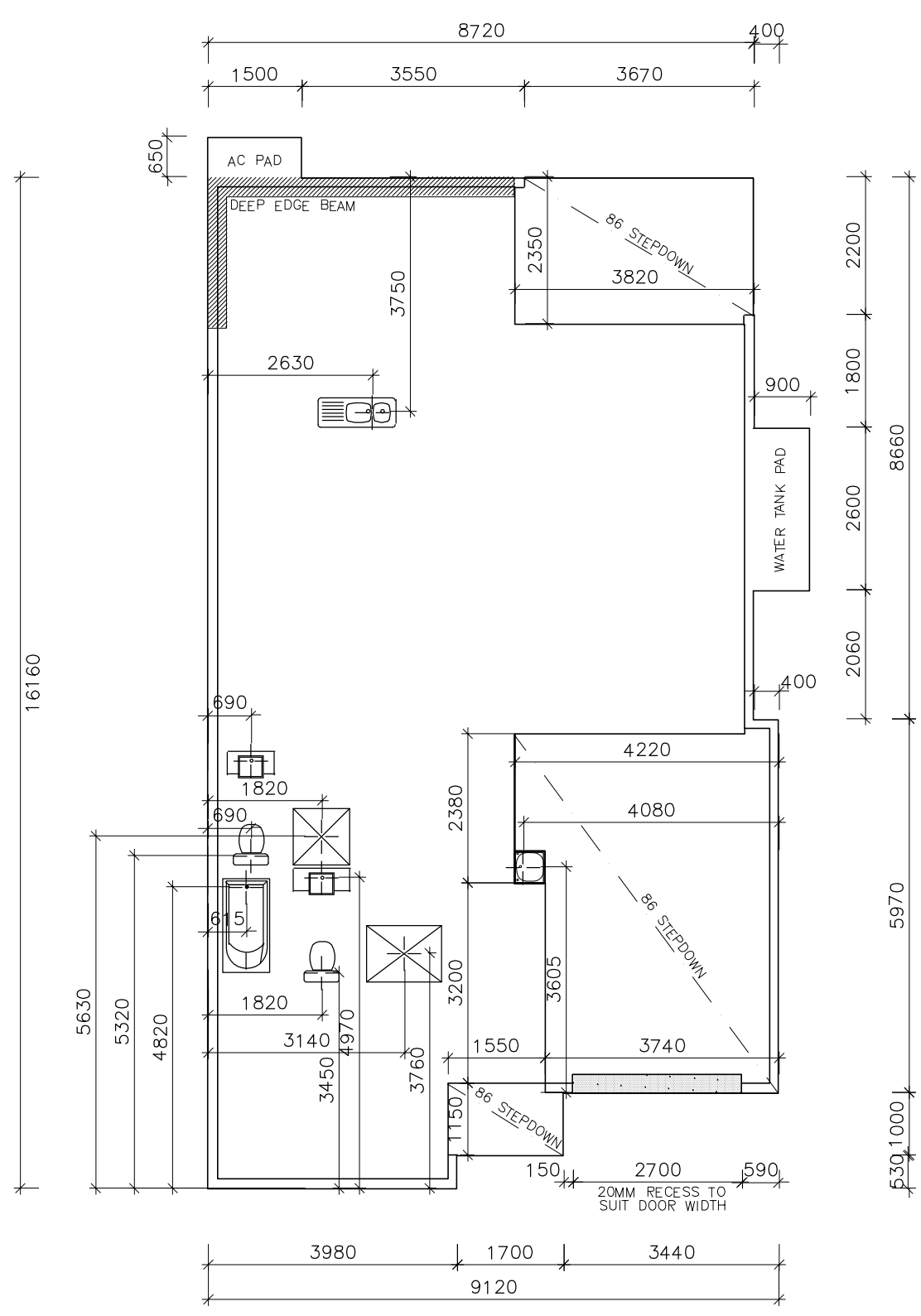
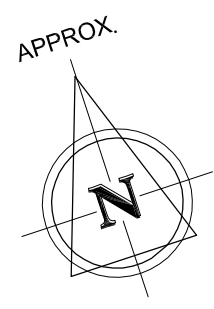


UNIT 2  
ELECTRICAL LAYOUT

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes LCB/CENr 97781C</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	E	05.06.2017	ADD A/C			JOB No. 143/15	REV. F	SHEET 16/43
	A	04.11.2015	ISSUED FOR CONSTRUCTION					
	REV.	DATE	DESCRIPTION					



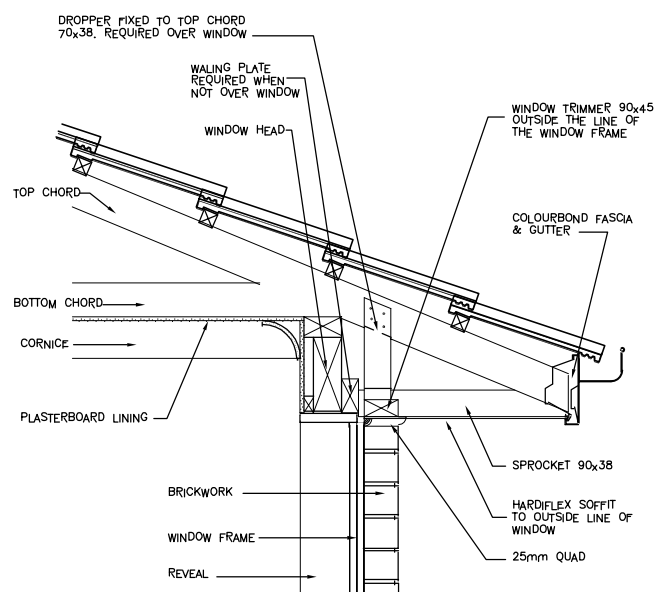
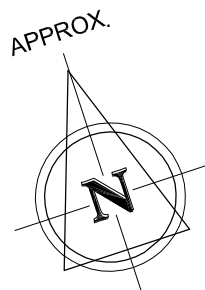
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



UNIT 2  
SLAB PLAN &  
PLUMBING LAYOUT

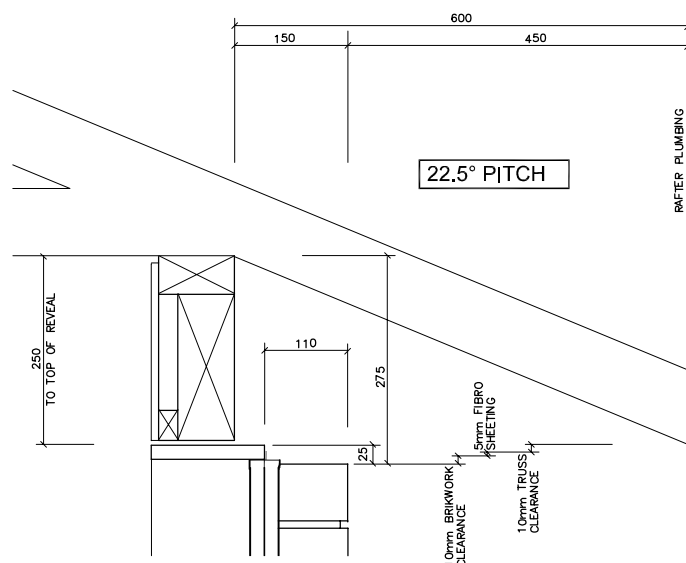
<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes LICENCE No 977816 PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	E	05.06.2017	ADD A/C			JOB No. 143/15	REV. F	SHEET 17/43
	A	04.11.2015	ISSUED FOR CONSTRUCTION					
	REV.	DATE	DESCRIPTION					

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



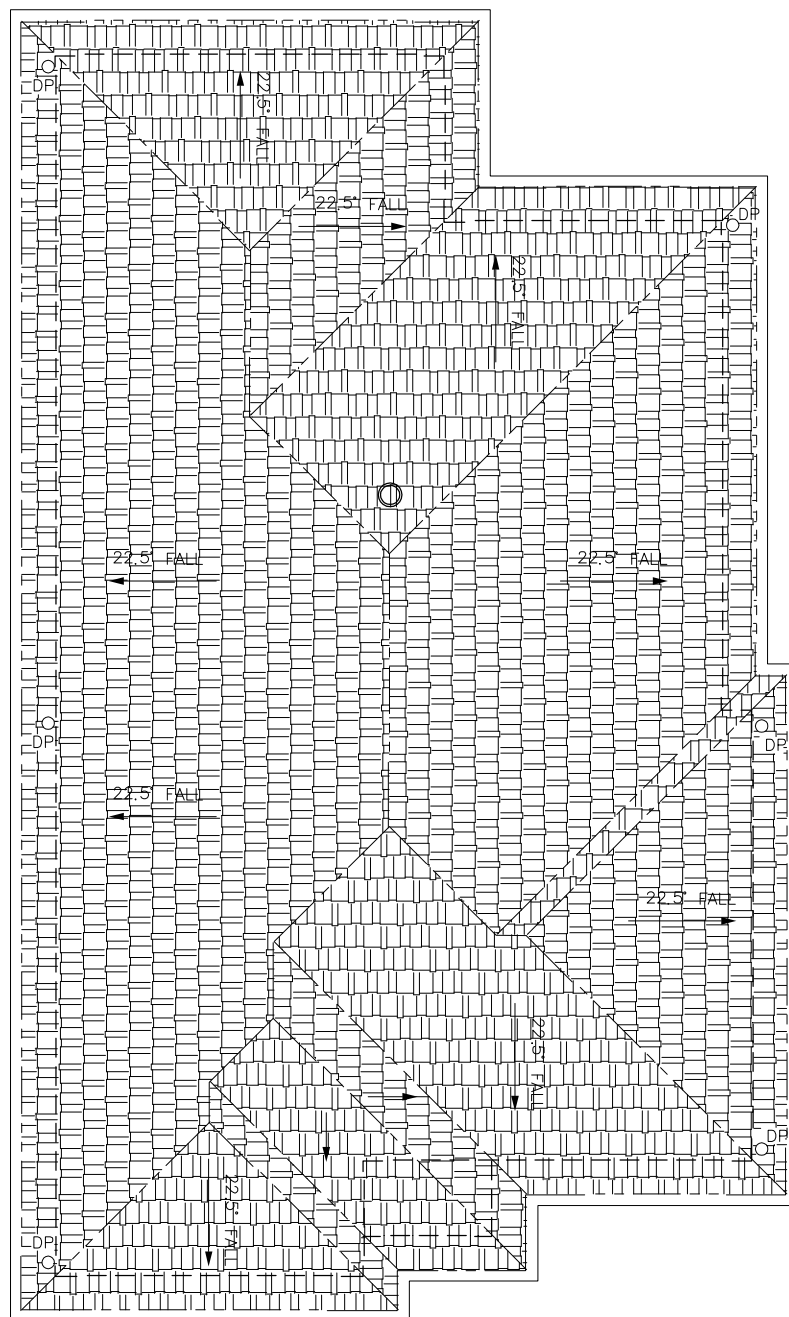
## EAVE DETAIL

SCALE 1:20





## DROP-OFF DETAIL

SCALE 1:10



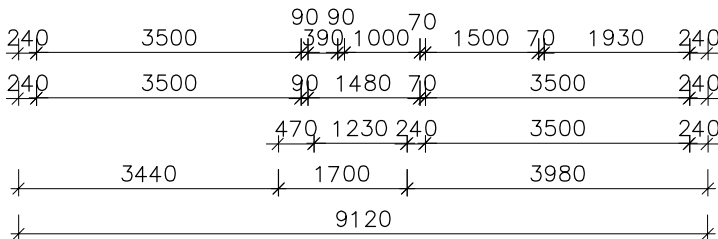
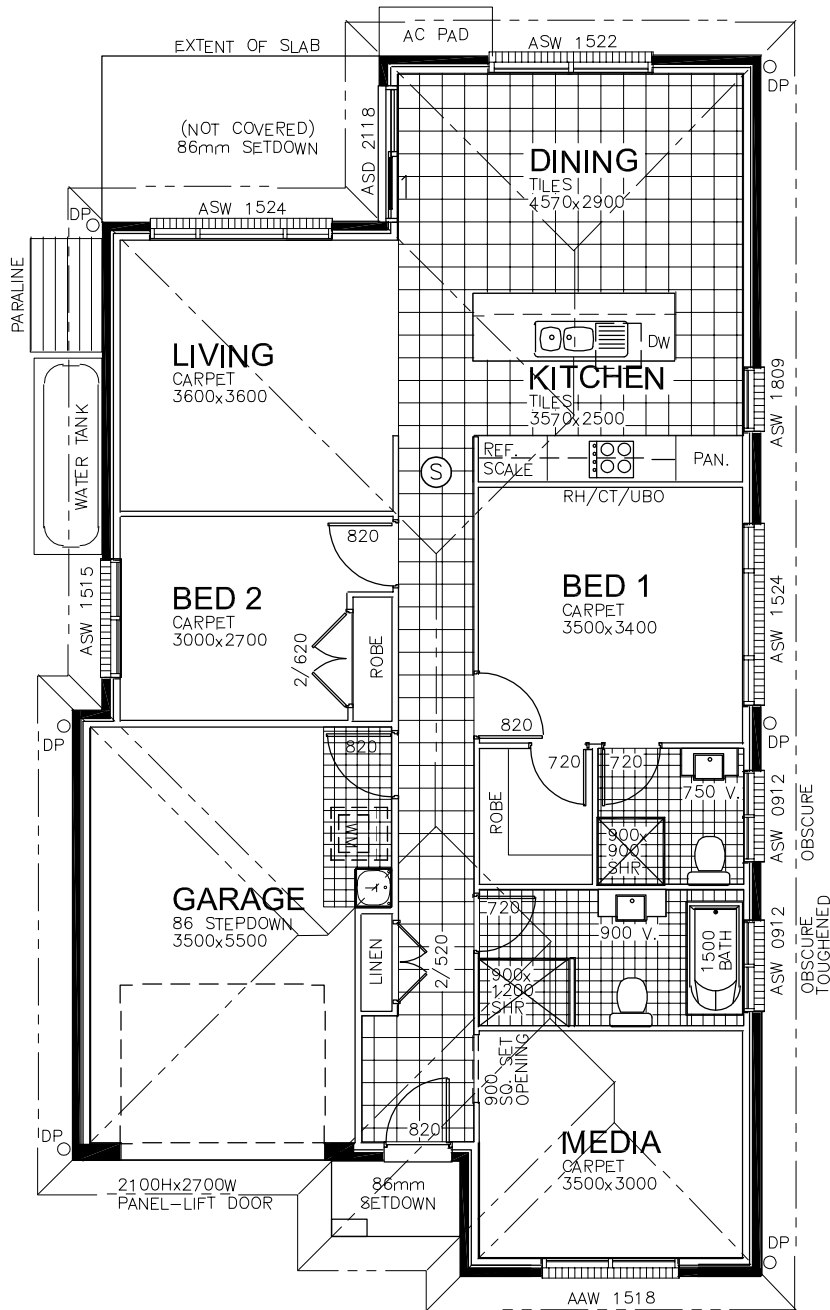
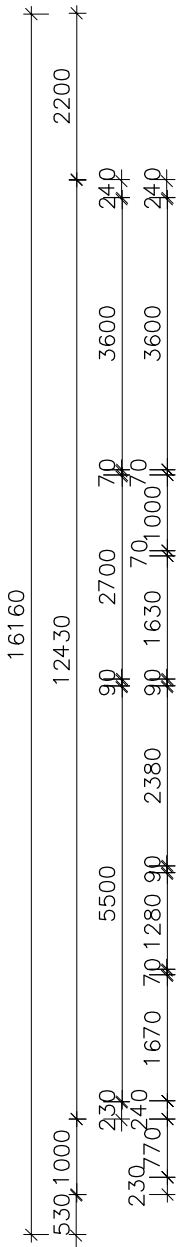
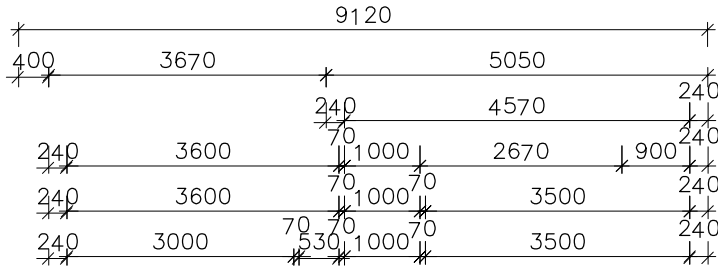
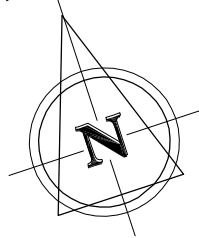
# UNIT 2

## ROOF PLAN

 <p>PLANS BY</p> <p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p> <p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p>				 <p>CLIENT ANAMBAH CONSTRUCTIONS</p> <p>SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320</p>	PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	A	04.11.2015	ISSUED FOR CONSTRUCTION		JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>18/43</b>
	REV.	DATE	DESCRIPTION				

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

APPROX.



# UNIT 3 FLOOR PLAN

HOUSE: 106.92m2  
GARAGE: 22.67m2  
PATIO: 1.70m2  
TOTAL: 131.29m2



Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDAY/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway Rutherford, NSW 2320



PLANS BY



PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au  
ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL
E	05.06.2017	ADD A/C
A	04.11.2015	ISSUED FOR CONSTRUCTION
REV.	DATE	DESCRIPTION

Anambah Constructions

Quality Masterbuilt Homes  
LICENCE No 97781C  
PHONE: (02) 4934 8910

CLIENT

ANAMBAH CONSTRUCTIONS

SITE ADDRESS

LOT 3, DP 1226029  
106 NEW ENGLAND HWY  
RUTHERFORD NSW 2320

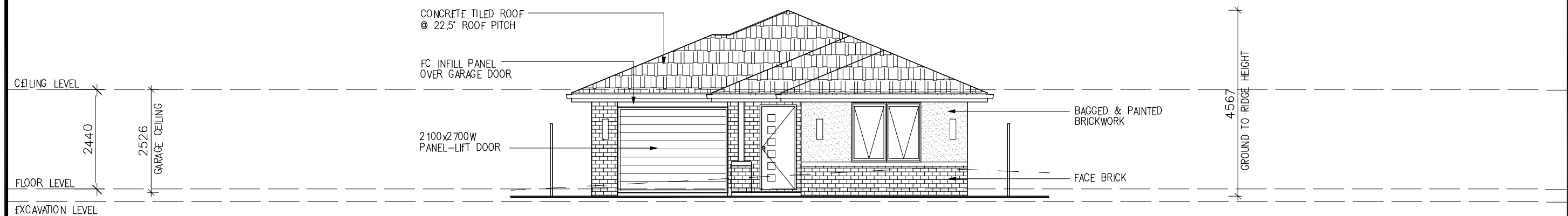
PROJECT

PROPOSED MEDIUM DENSITY DEVELOPMENT

DRAWN	CHECK:	SCALE
AP 04.11.2015		1:100
JOB No.	REV.	SHEET
143/15	F	19/43



\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE




SOUTHERN ELEVATION



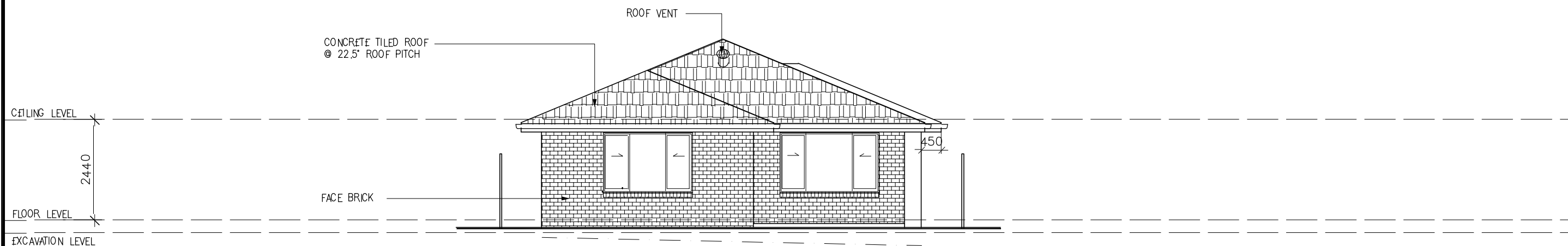
EASTERN ELEVATION

## UNIT 3 ELEVATIONS

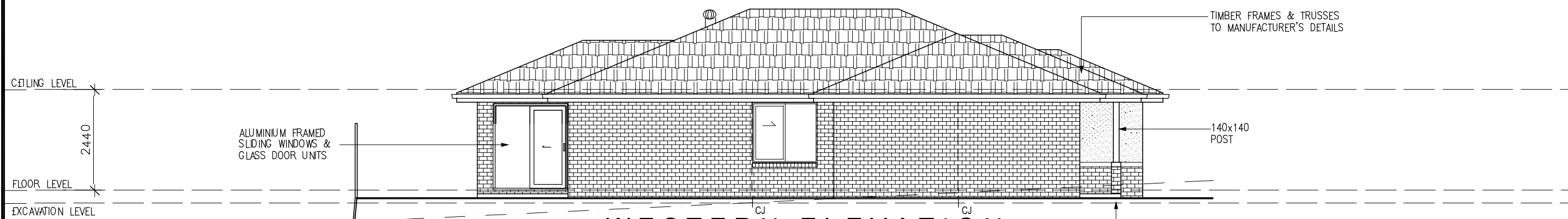


PLANS BY			CLIENT			PROJECT		
			ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT		
PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au			SITE ADDRESS			DRAWN		
ENERGY SMART DESIGN DEVELOPMENT & ASSESSMENT			LOT 3, DP 1226029			AP 04.11.2015		
			106 NEW ENGLAND HWY			CHECK:		
			RUTHERFORD NSW 2320			JOB No.		
						143/15		
						REV.		
						F		
						SCALE		
						1:500		
						SHEET		
						20/43		

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



## NORTHERN ELEVATION





## WESTERN ELEVATION

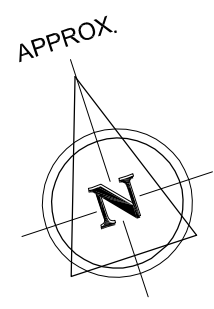
# UNIT 3

## ELEVATIONS



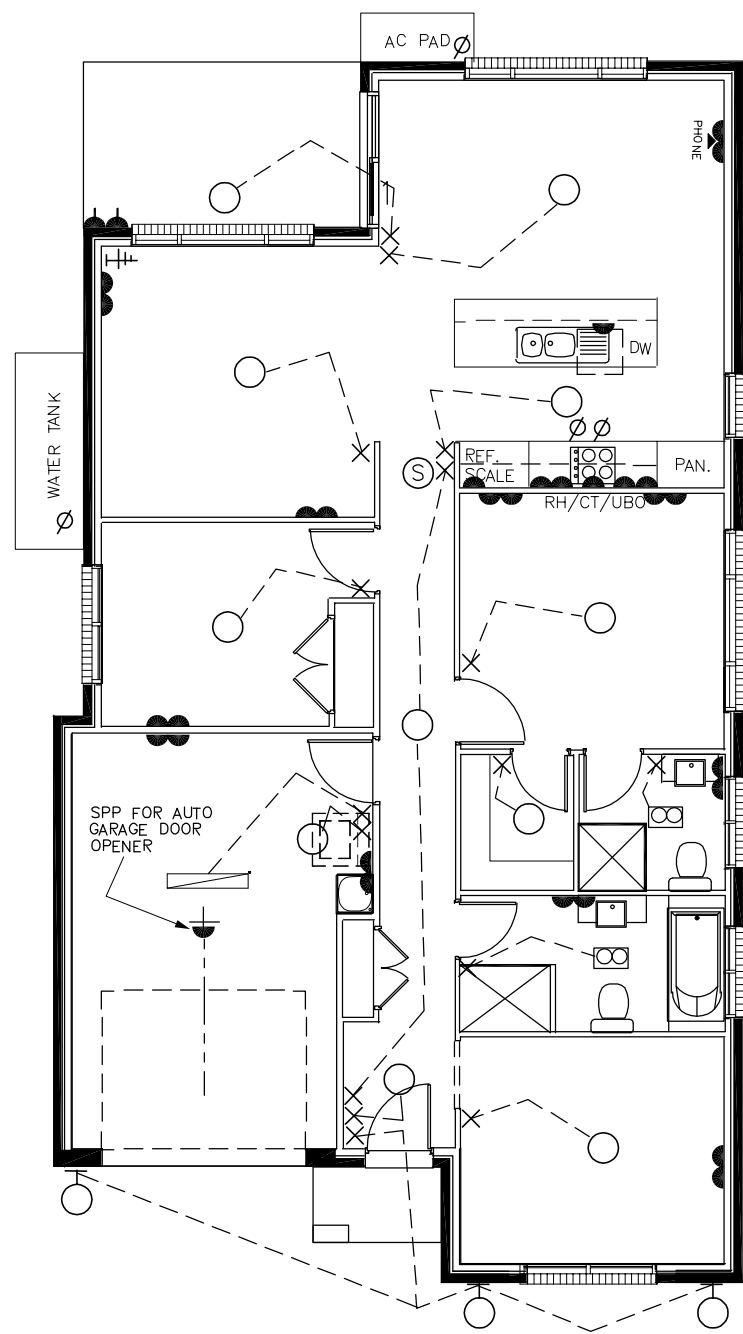
<div><p>PLANS BY</p></div>									<div><p>ANAMBAH CONSTRUCTIONS</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL						SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:500		
E	05.06.2017	ADD A/C												
A	04.11.2015	ISSUED FOR CONSTRUCTION												
REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION									
<div><p>PO Box 648 Watland NSW 2320 - V: 0401 002 099 - E: info@urbanliving.com.au</p><p>ENERGY SUSTAINABLE DESIGN DEVELOPMENT &amp; ASSESSMENT</p></div>									JOB No. <b>143/15</b>			REV. <b>F</b>	SHEET <b>21/43</b>	

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



ELECTRICAL LEGEND

- BATTEN HOLDER – CEILING
- BATTEN HOLDER – WALL
- PERMANENT POWER
- FLUORESCENT LIGHT
- SWITCH POSITION
- SINGLE POWER POINT
- DOUBLE POWER POINT
- WEATHERPROOF DOUBLE POWER POINT
- EXHAUST FAN/LIGHT
- FLOOD LIGHT
- SMOKE DETECTOR
- PHONE/FAX POINT
- TV POINT
- I.X.L. TASTIC FAN/LIGHT/HEATER
- I.X.L. TASTIC FAN/LIGHT/HEATER
- DOWNLIGHT
- CEILING FAN
- A/C AIR CONDITIONING

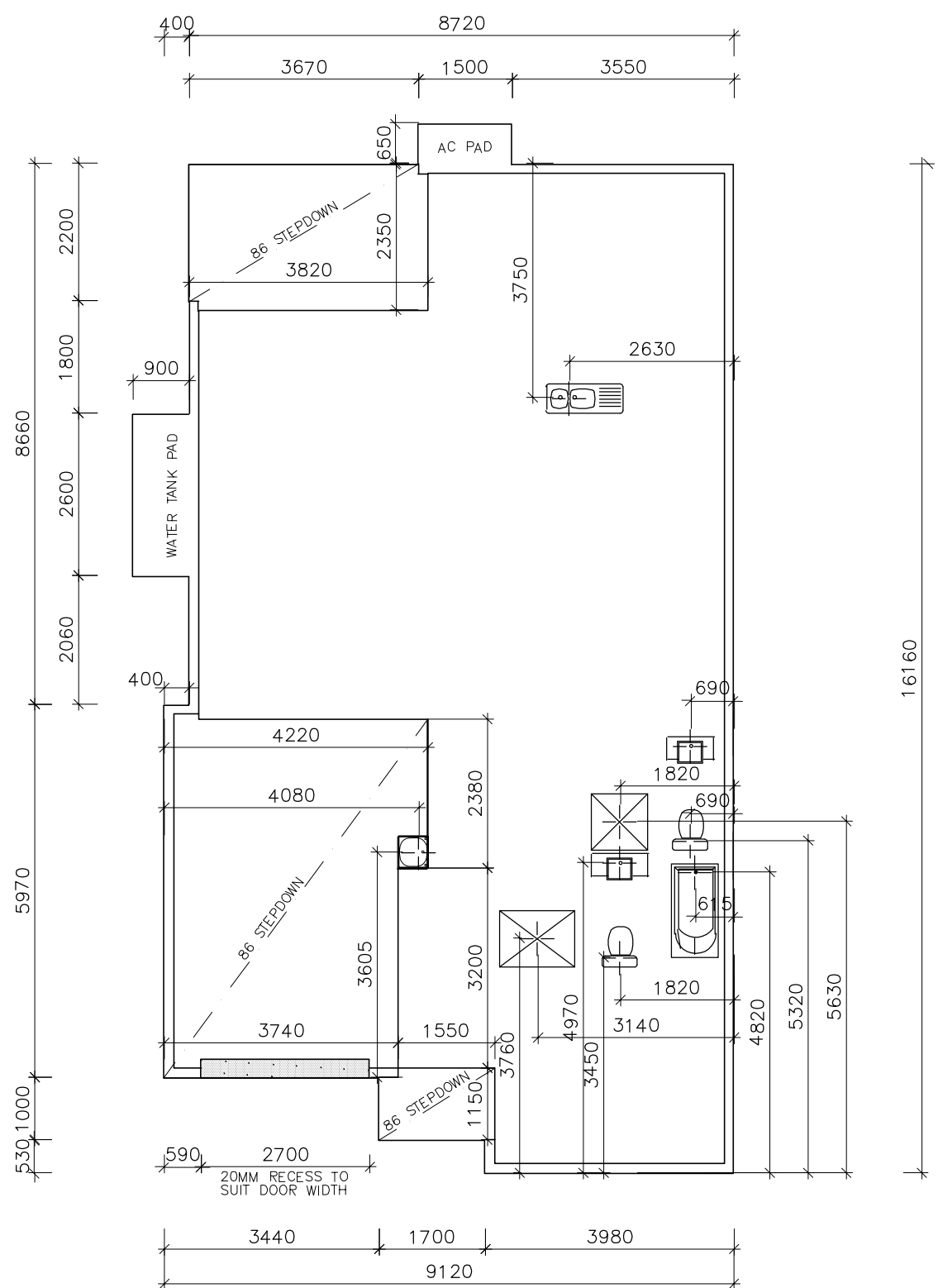
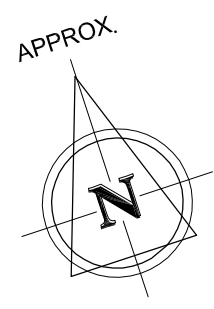


UNIT 3  
ELECTRICAL LAYOUT

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes LICENCE No: 97781C</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT	PROJECT					
					ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017		RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS	DRAWN		CHECK:	SCALE	
	E	05.06.2017		ADD A/C		AP 04.11.2015			1:100	
	A	04.11.2015		ISSUED FOR CONSTRUCTION		JOB No.		REV.	SHEET	
REV.	DATE	DESCRIPTION	143/15		F	22/43				
				LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320						



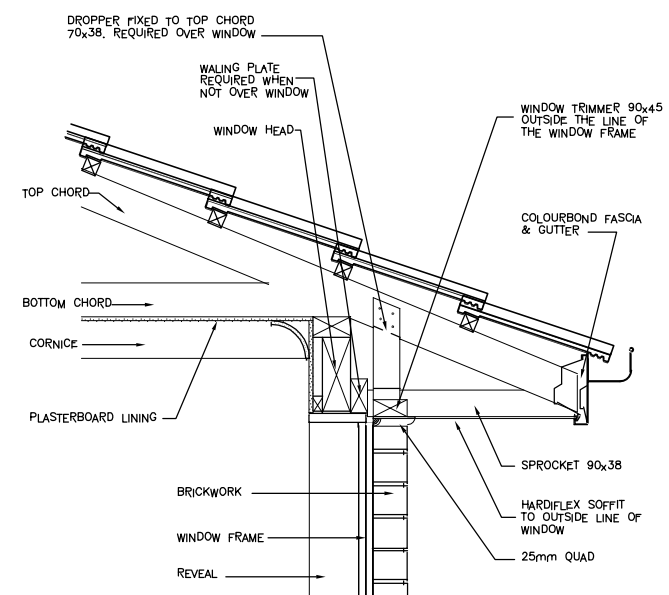
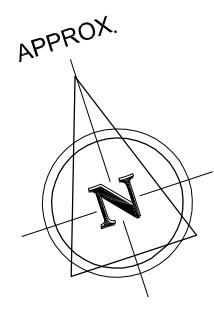
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



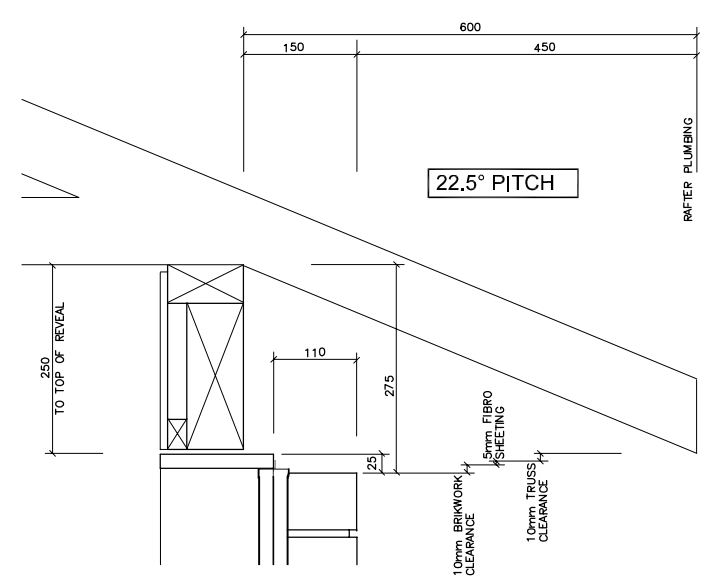
UNIT 3  
SLAB PLAN &  
PLUMBING LAYOUT

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes LICENCE No 977816 PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	E	05.06.2017	ADD A/C			JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>23/43</b>
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	REV.	DATE	DESCRIPTION					

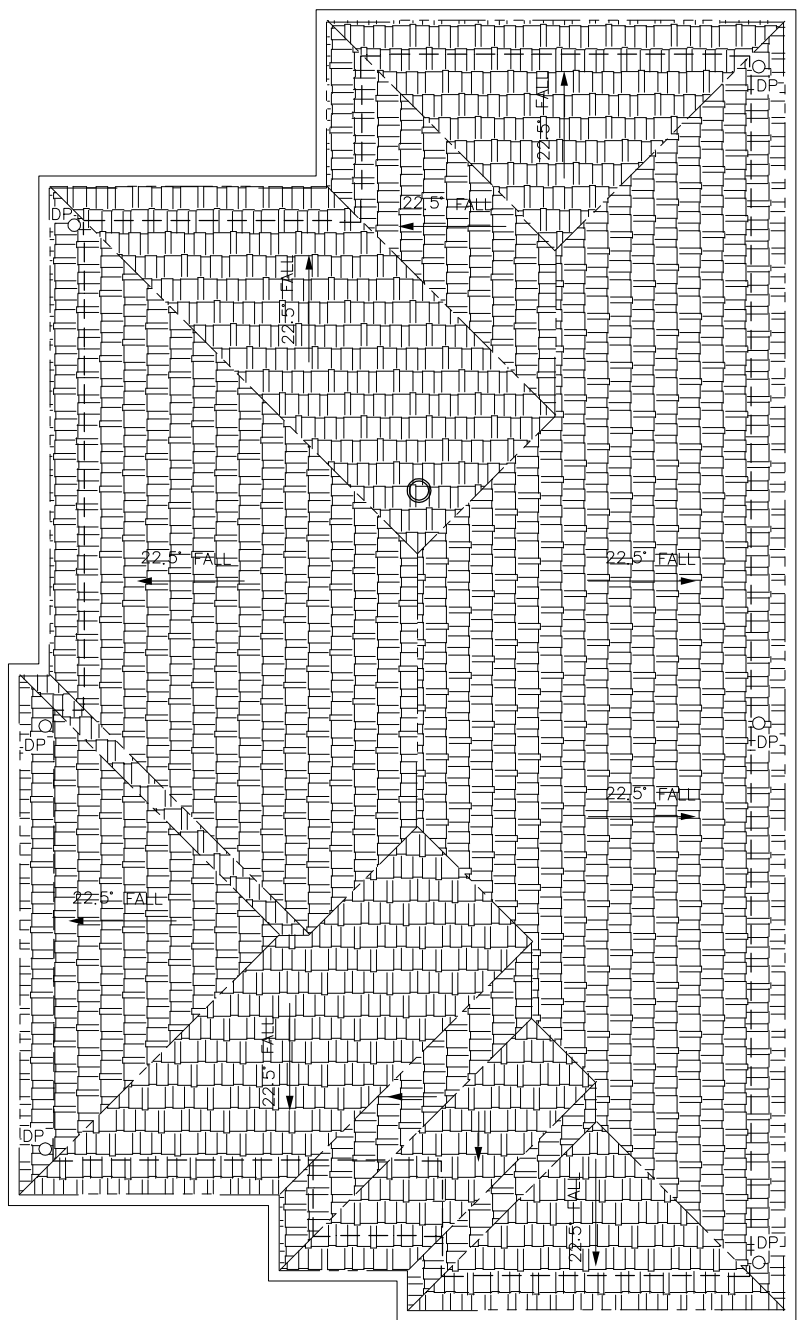
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE





EAVE DETAIL  
SCALE 1:20



DROP-OFF DETAIL  
SCALE 1:10

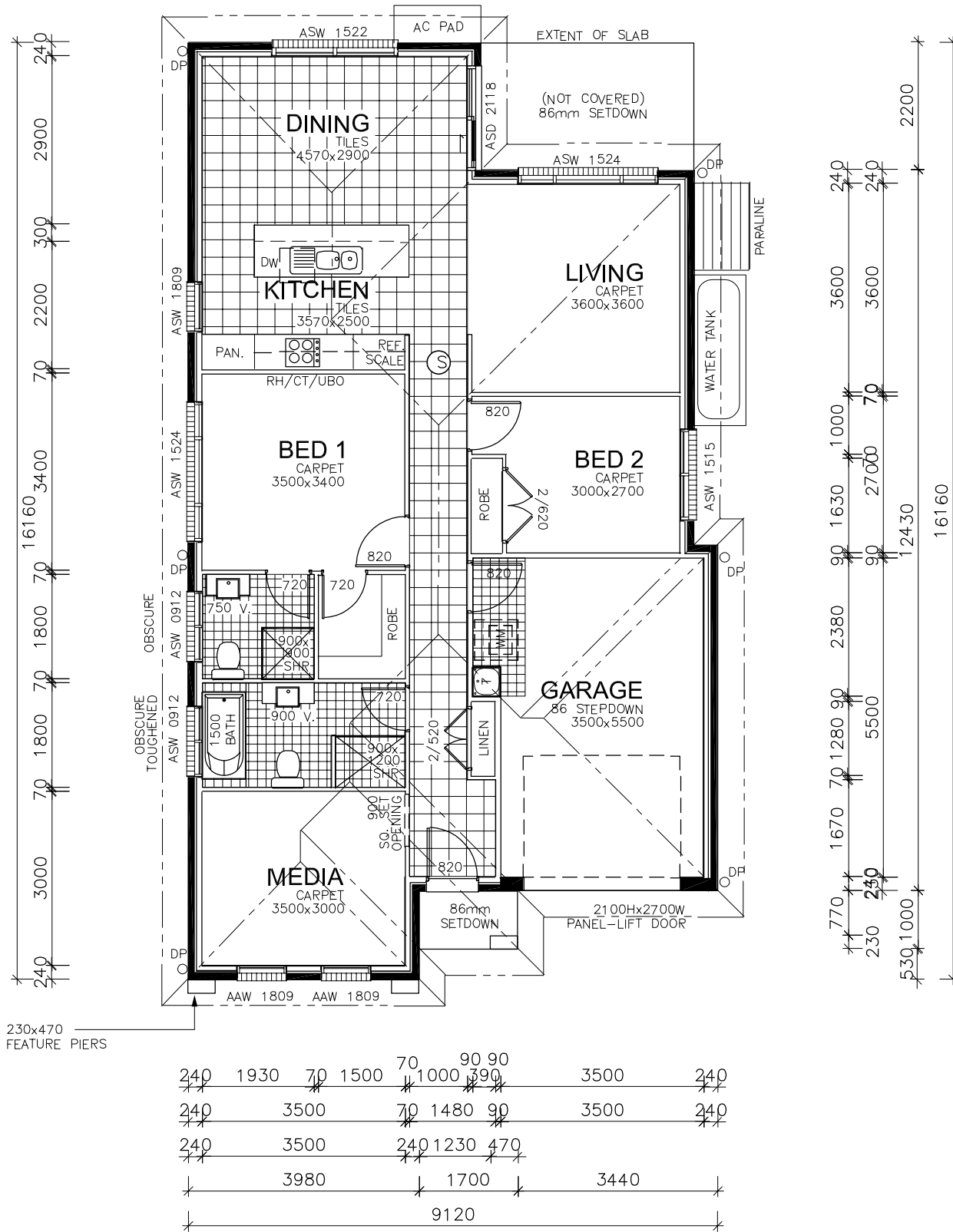
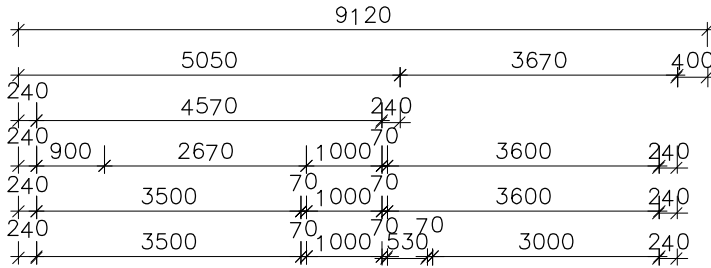
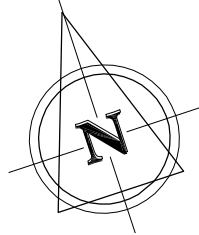


UNIT 3  
ROOF PLAN

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes LICENCE No 97781G PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	A	04.11.2015	ISSUED FOR CONSTRUCTION	JOB No. <b>143/15</b>		REV. <b>F</b>		SHEET <b>24/43</b>
	REV.	DATE	DESCRIPTION					

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

APPROX.





UNIT 4  
FLOOR PLAN

HOUSE: 106.92m<sup>2</sup>  
GARAGE: 22.67m<sup>2</sup>  
PATIO: 1.70m<sup>2</sup>  
TOTAL: 131.29m<sup>2</sup>

Average star rating: 6.0

Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDAY/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway  
Rutherford, NSW 2320

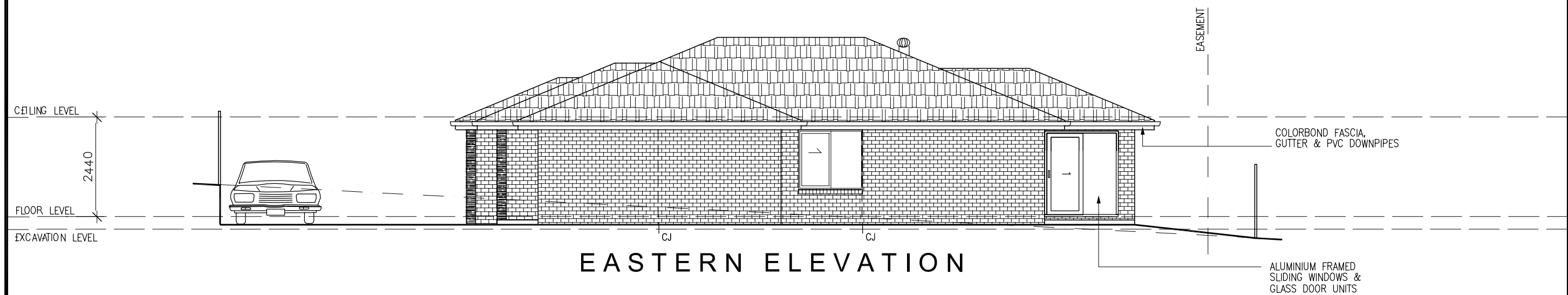
 PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT		PLANS BY					 Quality Masterbuilt Homes LCB/CEN/97781C PHONE: (02) 4934 8910	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
		F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL				SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320	DRAWN AP 04.11.2015		CHECK:	SCALE 1:100
		E	05.06.2017	ADD A/C					JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>25/43</b>	
		A	04.11.2015	ISSUED FOR CONSTRUCTION								
		REV.	DATE	DESCRIPTION								



\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



SOUTHERN ELEVATION



EASTERN ELEVATION

UNIT 4  
ELEVATIONS



<div>PLANS BY</div> <div><div>PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN DEVELOPMENT &amp; ASSESSMENT</div></div>									<div>Anambah Constructions</div> <div>Quality Masterbuilt Homes LICENCE No: 97781C</div> <div>PHONE: (02) 4934 8910</div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL						SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:500		
A	04.11.2015	ISSUED FOR CONSTRUCTION								JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>26/43</b>		
REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION									

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



# UNIT 4 ELEVATIONS



Average star rating  
**6.0**

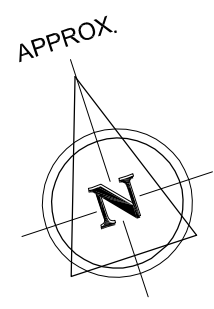
Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDAY/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway  
Rutherford, NSW 2320



www.nathers.gov.au

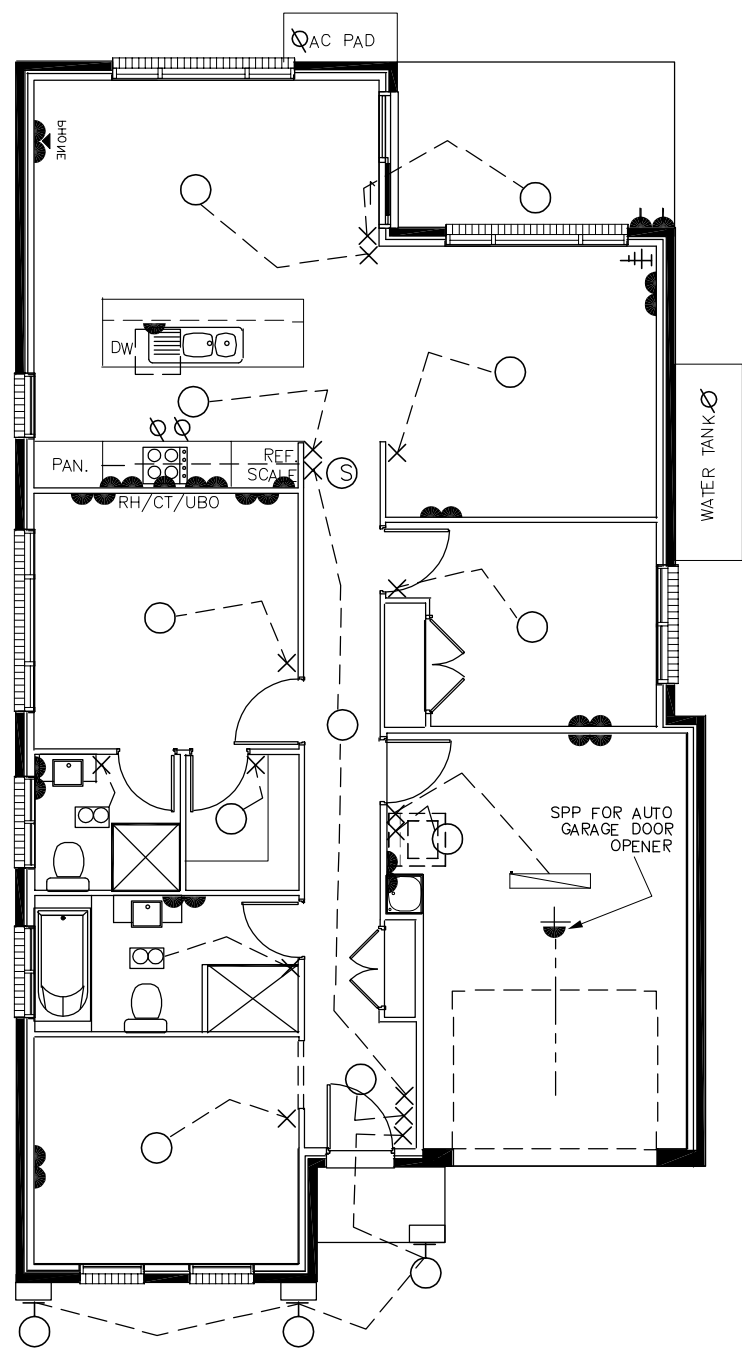
PLANS BY			CLIENT			PROJECT		
 PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN DEVELOPMENT & ASSESSMENT			ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT		
F 12.09.2017 RE-DESIGN UNIT 1, 6 UNITS TOTAL			SITE ADDRESS			DRAWN		CHECK:
E 05.06.2017 ADD A/C			LOT 3, DP 1226029			AP 04.11.2015		SCALE
A 04.11.2015 ISSUED FOR CONSTRUCTION			106 NEW ENGLAND HWY			JOB No.		REV.
REV. DATE DESCRIPTION			RUTHERFORD NSW 2320			143/15		F
REV. DATE DESCRIPTION			PHONE: (02) 4934 8910			SHEET		27/43

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



ELECTRICAL LEGEND

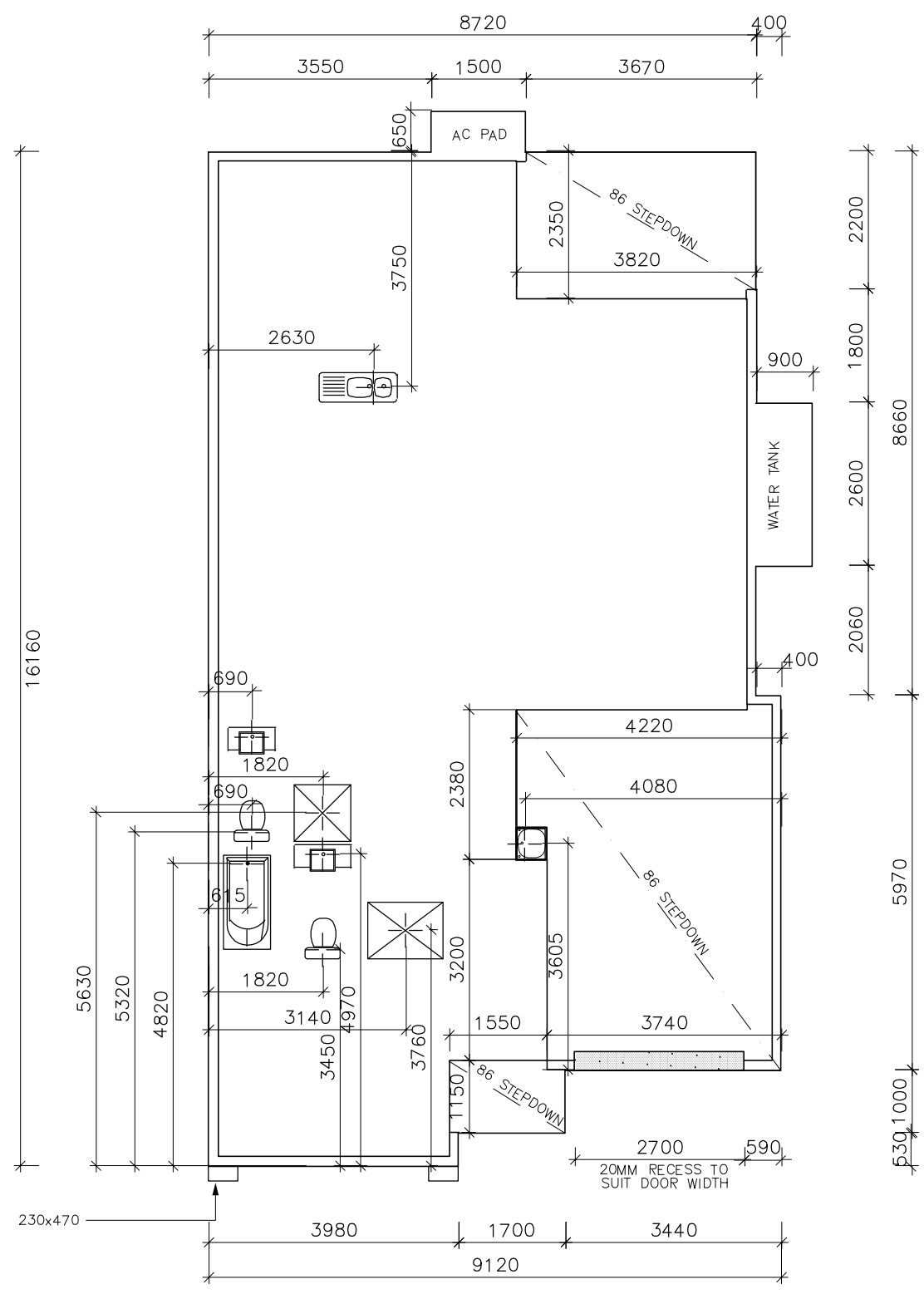
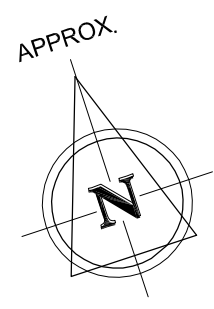
- BATTEN HOLDER – CEILING
- BATTEN HOLDER – WALL
- PERMANENT POWER
- FLUORESCENT LIGHT
- SWITCH POSITION
- SINGLE POWER POINT
- DOUBLE POWER POINT
- WEATHERPROOF DOUBLE POWER POINT
- EXHAUST FAN/LIGHT
- FLOOD LIGHT
- SMOKE DETECTOR
- PHONE/FAX POINT
- TV POINT
- I.X.L. TASTIC FAN/LIGHT/HEATER
- I.X.L. TASTIC FAN/LIGHT/HEATER
- DOWNLIGHT
- CEILING FAN
- A/C AIR CONDITIONING



UNIT 4  
ELECTRICAL LAYOUT

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes</p><p>LCB/CENr 97781C</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	E	05.06.2017	ADD A/C			JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>28/43</b>
	A	04.11.2015	ISSUED FOR CONSTRUCTION					
	REV.	DATE	DESCRIPTION					

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

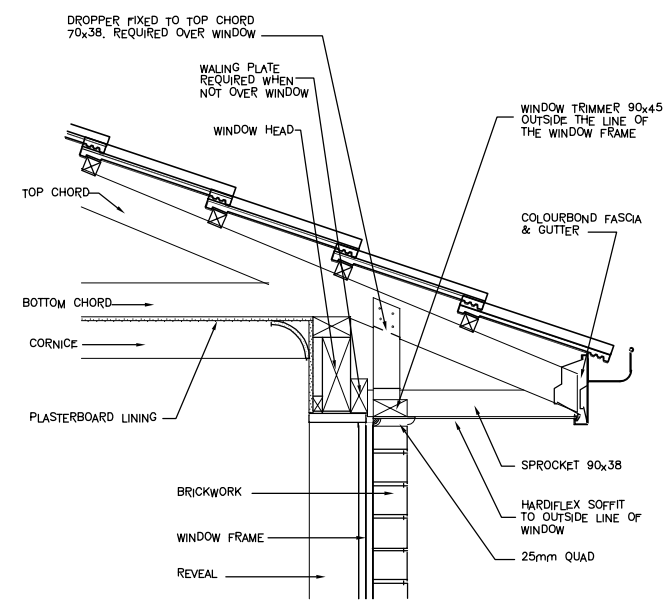
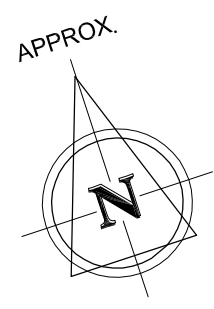


UNIT 4  
SLAB PLAN &  
PLUMBING LAYOUT

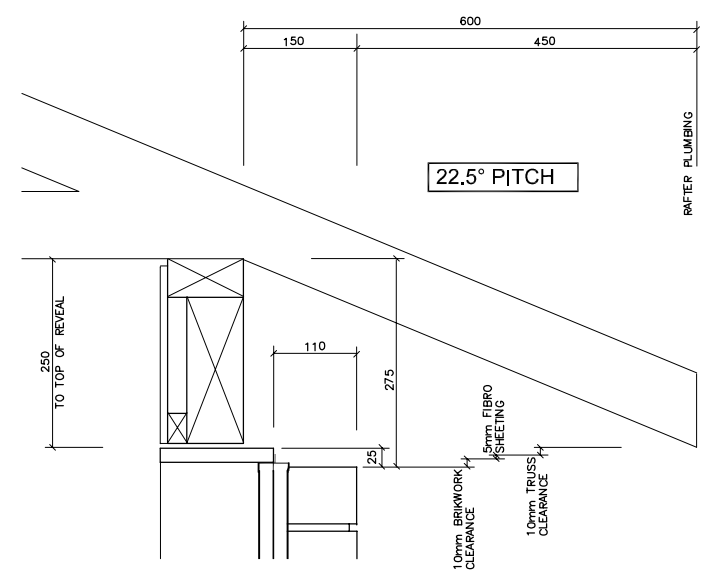
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	F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	E	05.06.2017	ADD A/C			JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>29/43</b>
	A	04.11.2015	ISSUED FOR CONSTRUCTION					
	REV.	DATE	DESCRIPTION					



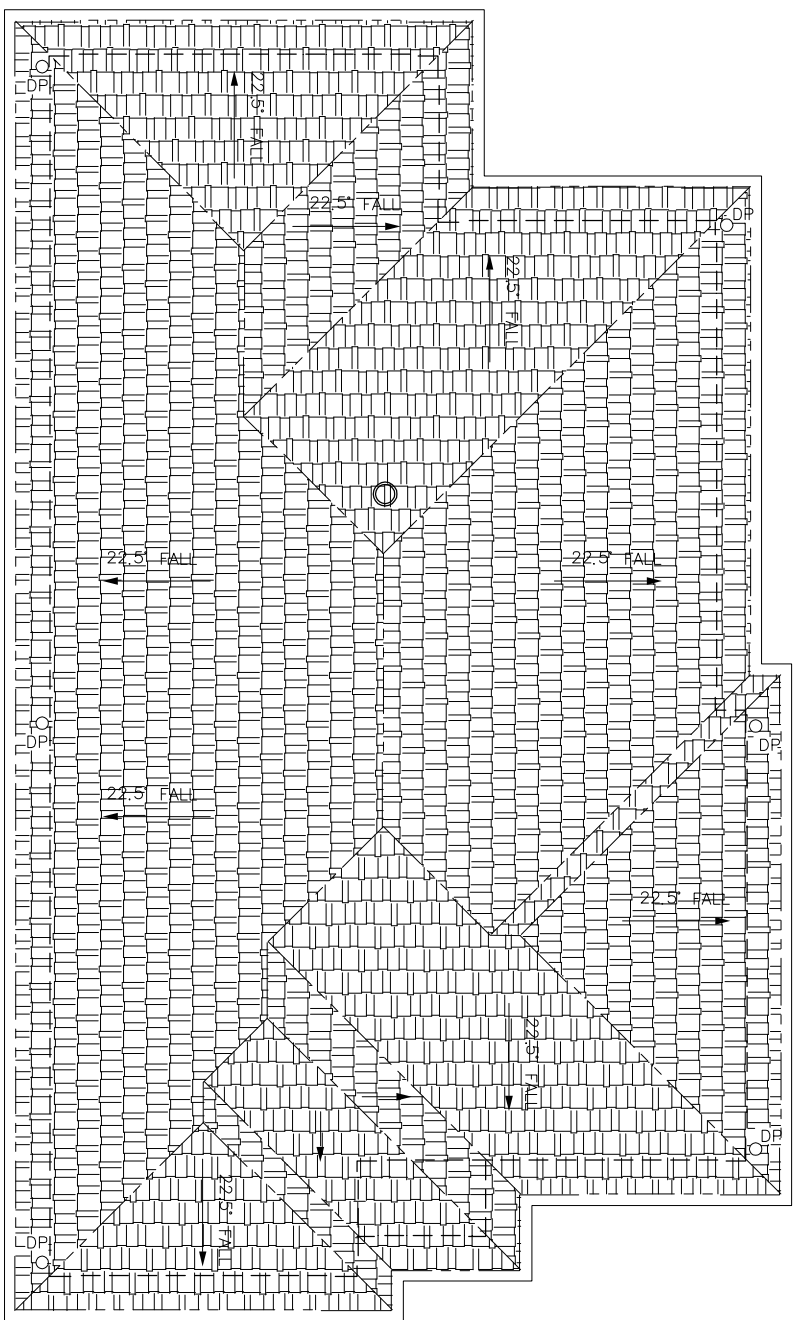
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE




EAVE DETAIL  
SCALE 1:20



DROP-OFF DETAIL  
SCALE 1:10

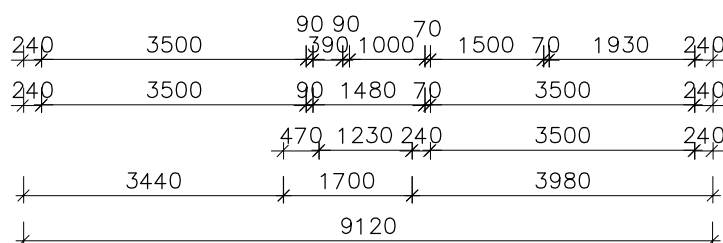
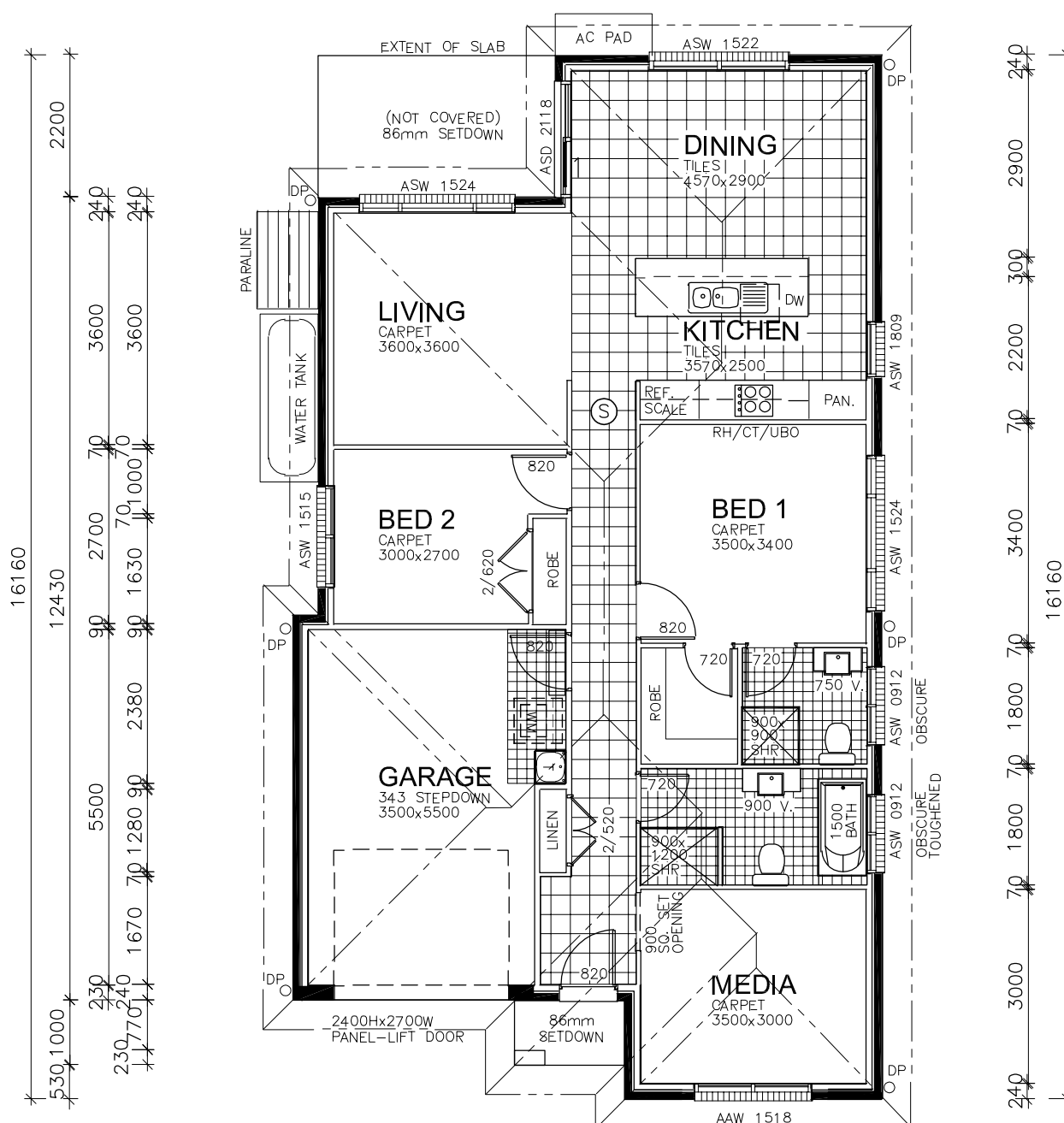
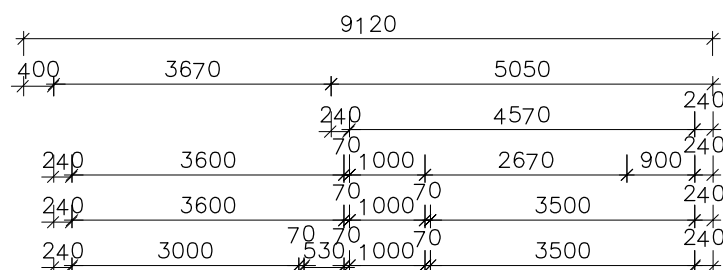
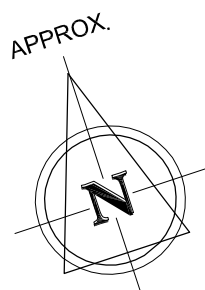


UNIT 4  
ROOF PLAN

<div>PLANS BY</div> <div><div>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</div></div>						<div>Anambah Constructions</div> <div>Quality Masterbuilt Homes UBCENo: 97781C</div> <div>PHONE: (02) 4934 8910</div>	CLIENT ANAMBAH CONSTRUCTIONS	PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
				SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320	DRAWN AP 04.11.2015		CHECK:	SCALE 1:100		
F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL								
A	04.11.2015	ISSUED FOR CONSTRUCTION								
REV.	DATE	DESCRIPTION								
						JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>30/43</b>		

*Anambah*  
**Constructions**  
Quality Masterbuilt Homes  
LCB/CEN No 97781G  
PHONE: (02) 4934 8910

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE




# UNIT 5 FLOOR PLAN

HOUSE: 106.92m<sup>2</sup>  
GARAGE: 22.67m<sup>2</sup>  
PATIO: 1.70m<sup>2</sup>  
TOTAL: 131.29m<sup>2</sup>



Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BD/AV/13/1491  
Certificate date: 09 January 2018  
Dwelling Address:  
106 New England Highway  
Rutherford, NSW  
2320



[www.nathers.gov.au](http://www.nathers.gov.au)




<div><div>PLANS BY</div></div>			<div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div></div><div></div></div><div><div></div><div></div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> 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\* WRITTEN DIMENSIONS TO TAKE  
PREFERENCE OVER SCALE

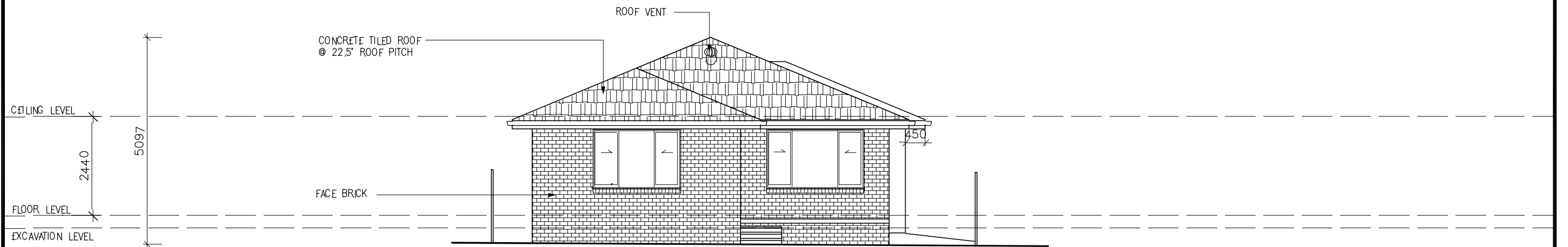


## UNIT 5 ELEVATIONS



PLANS BY			CLIENT			PROJECT		
			ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT		
PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au			SITE ADDRESS			DRAWN		
ENERGY SMART DESIGN DEVELOPMENT & ASSESSMENT			LOT 3, DP 1226029			AP 04.11.2015		
			106 NEW ENGLAND HWY			CHECK:		
			RUTHERFORD NSW 2320			REV.		
						JOB No.		
						143/15		
						F		
						SCALE		
						1:500		
						SHEET		
						32/43		

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE





NORTHERN ELEVATION



WESTERN ELEVATION

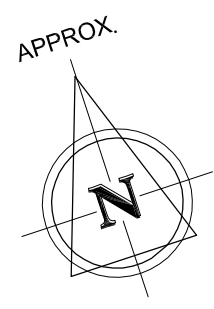
## UNIT 5 ELEVATIONS



<div><p>PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN DEVELOPMENT &amp; ASSESSMENT</p></div>			<div><p>PLANS BY</p><table><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>F</td><td>12.09.2017</td><td>RE-DESIGN UNIT 1, 6 UNITS TOTAL</td><td></td><td></td><td></td></tr><tr><td>E</td><td>05.06.2017</td><td>ADD A/C</td><td></td><td></td><td></td></tr><tr><td>A</td><td>04.11.2015</td><td>ISSUED FOR CONSTRUCTION</td><td></td><td></td><td></td></tr><tr><td>REV.</td><td>DATE</td><td>DESCRIPTION</td><td>REV.</td><td>DATE</td><td>DESCRIPTION</td></tr></table></div>									F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL				E	05.06.2017	ADD A/C				A	04.11.2015	ISSUED FOR CONSTRUCTION				REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION	<div><p>Quality Masterbuilt Homes LICENCE No: 97781C PHONE: (02) 4934 8910</p></div>			<div><p>CLIENT ANAMBAH CONSTRUCTIONS</p><p>SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320</p></div>			<div><p>PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT</p><table><tr><td>DRAWN AP 04.11.2015</td><td>CHECK:</td><td>SCALE 1:500</td></tr><tr><td>JOB No. <b>143/15</b></td><td>REV. <b>F</b></td><td>SHEET <b>33/43</b></td></tr></table></div>			DRAWN AP 04.11.2015	CHECK:	SCALE 1:500	JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>33/43</b>
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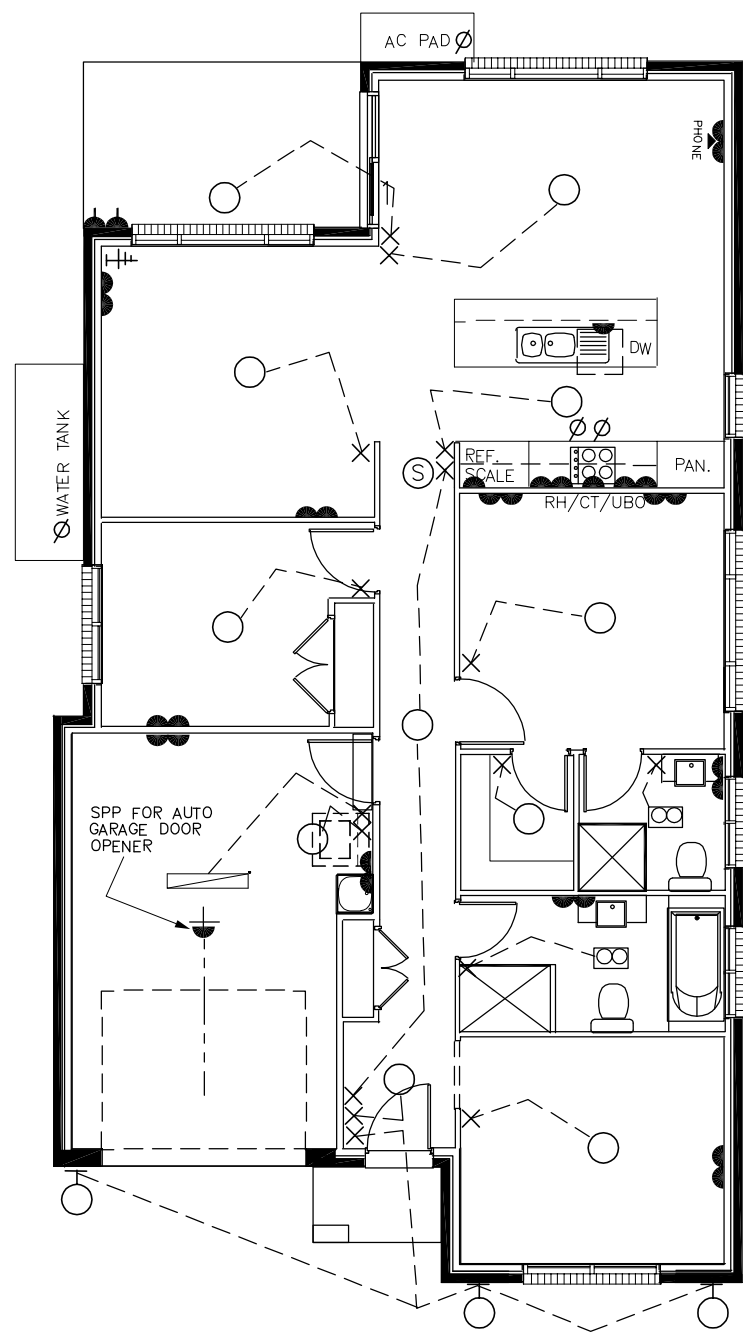


\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



ELECTRICAL LEGEND

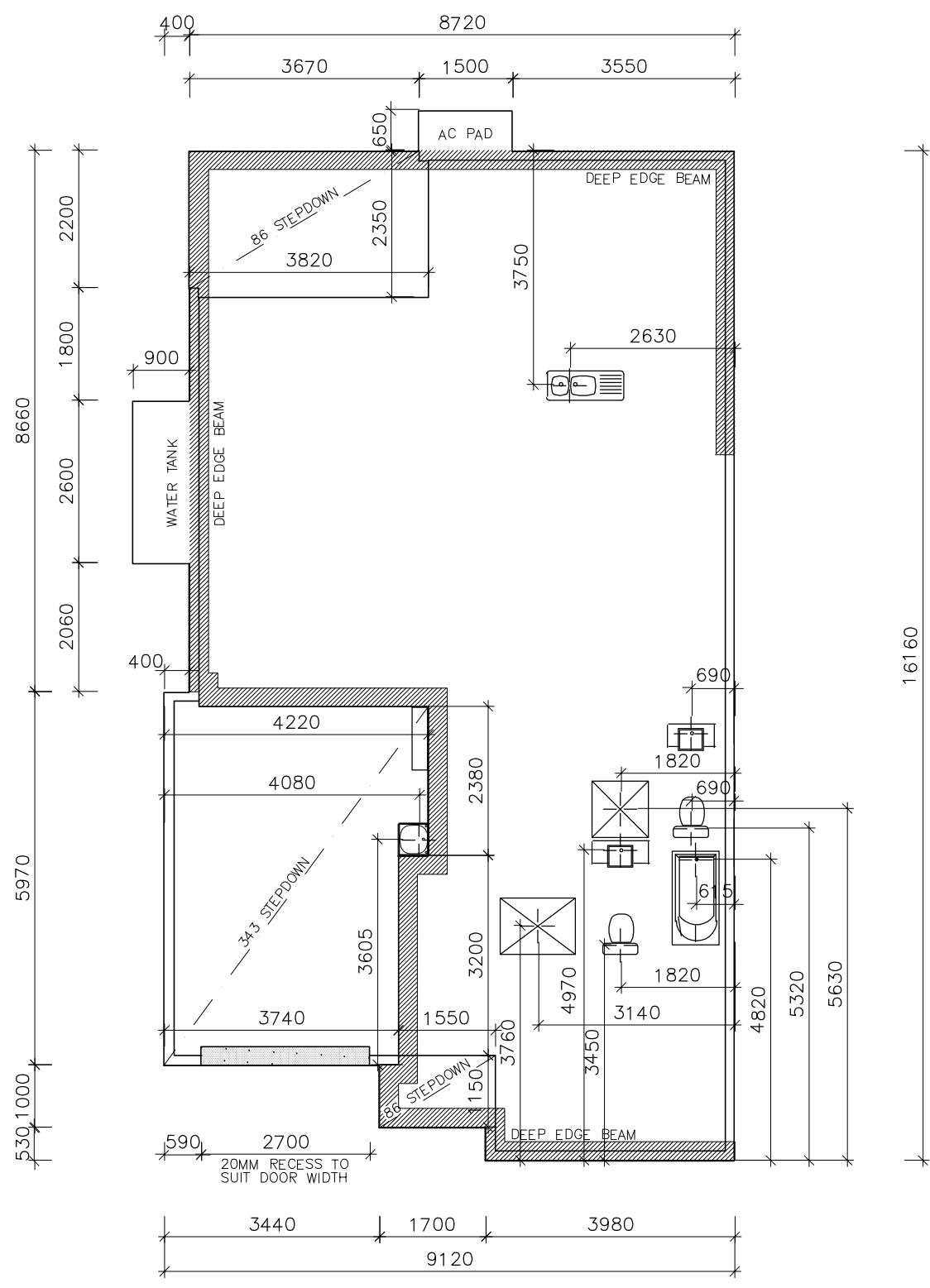
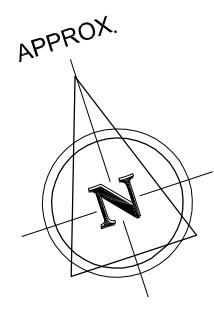
- BATTEN HOLDER – CEILING
- BATTEN HOLDER – WALL
- PERMANENT POWER
- FLUORESCENT LIGHT
- SWITCH POSITION
- SINGLE POWER POINT
- DOUBLE POWER POINT
- WEATHERPROOF DOUBLE POWER POINT
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- FLOOD LIGHT
- SMOKE DETECTOR
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- TV POINT
- I.X.L. TASTIC FAN/LIGHT/HEATER
- I.X.L. TASTIC FAN/LIGHT/HEATER
- DOWNLIGHT
- CEILING FAN
- AIR CONDITIONING





UNIT 5  
ELECTRICAL LAYOUT

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes LICENCE No 97781G</p><p>PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
	F	12.09.2017		RE-DESIGN UNIT 1, 6 UNITS TOTAL	SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320	DRAWN AP 04.11.2015	CHECK:	SCALE 1:100
	E	05.06.2017		ADD A/C		JOB No. <b>143/15</b>	REV. <b>F</b>	SHEET <b>34/43</b>
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	REV.	DATE		DESCRIPTION				

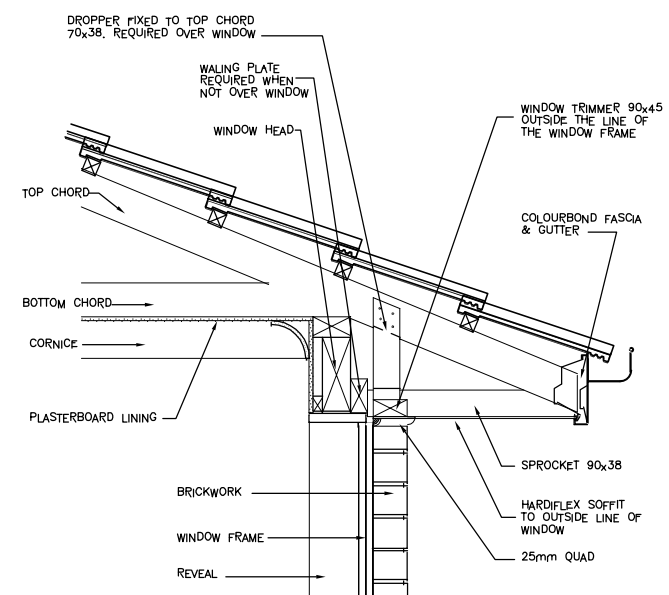
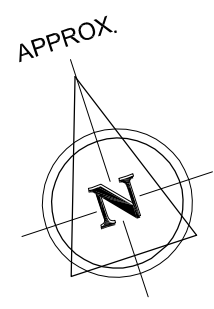
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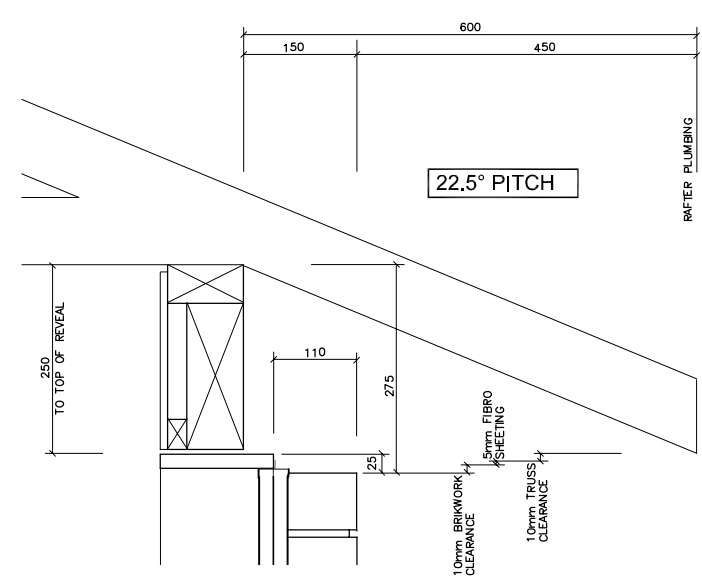
UNIT 5  
SLAB PLAN &  
PLUMBING LAYOUT

<div><p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>	PLANS BY		<div><p>Quality Masterbuilt Homes LICENCE No 97781C PHONE: (02) 4934 8910</p></div>	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT		
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	REV.	DATE	DESCRIPTION					

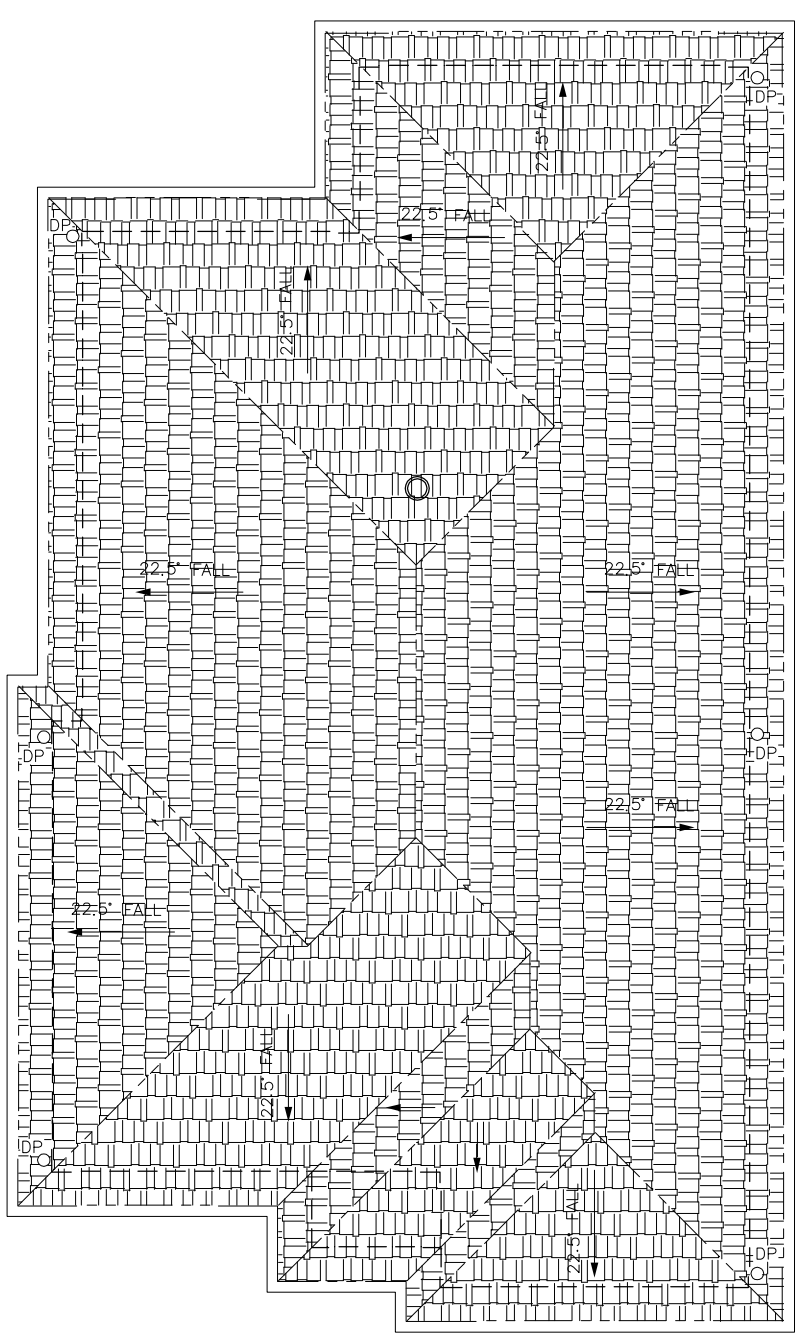
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE




EAVE DETAIL  
SCALE 1:20



DROP-OFF DETAIL  
SCALE 1:10

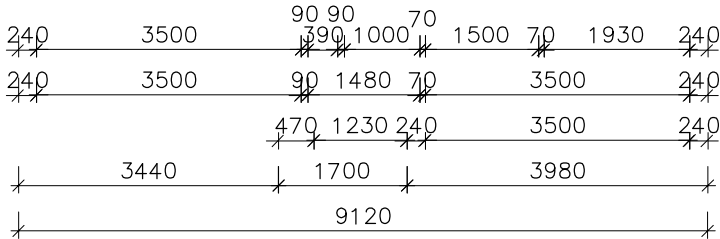
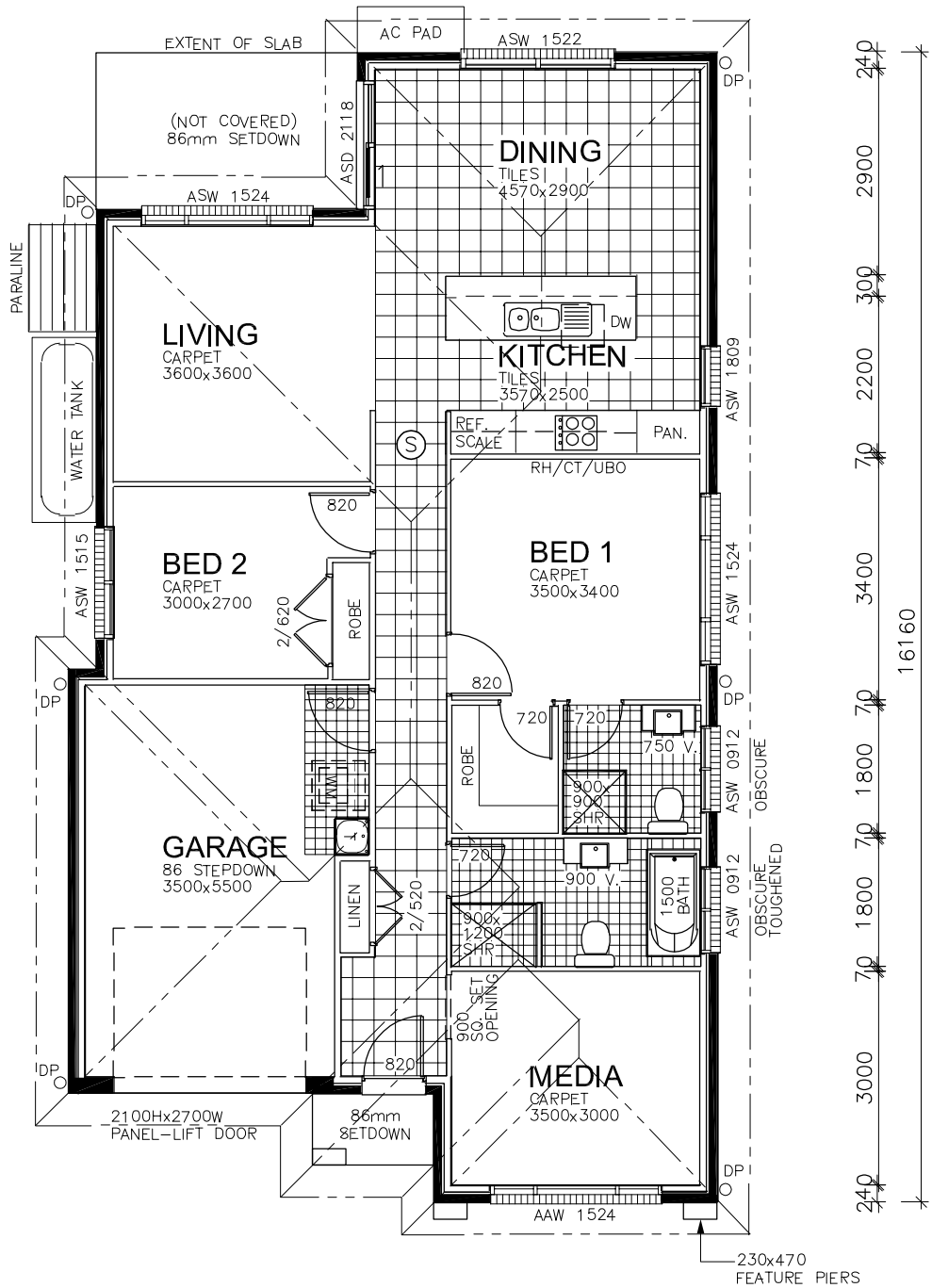
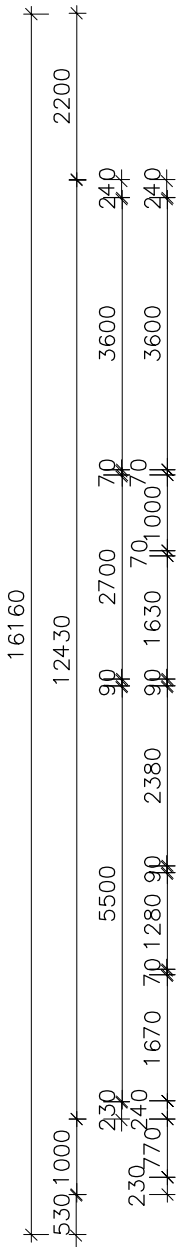
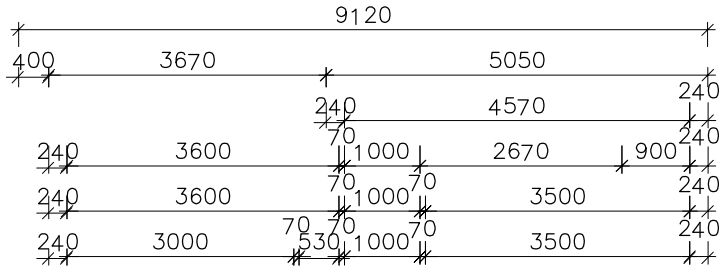
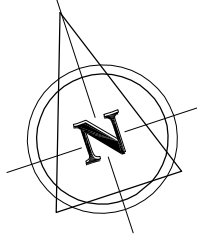


UNIT 5  
ROOF PLAN

PLANS BY			CLIENT		PROJECT		
			ANAMBAH CONSTRUCTIONS		PROPOSED MEDIUM DENSITY DEVELOPMENT		
PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT			SITE ADDRESS		DRAWN	CHECK:	SCALE
			LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		AP 04.11.2015		1:100
					JOB No.	REV.	SHEET
					143/15	F	36/43
REV. DATE DESCRIPTION							

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

APPROX.



UNIT 6  
FLOOR PLAN

HOUSE: 106.92m2  
GARAGE: 22.67m2  
PATIO: 1.70m2  
TOTAL: 131.29m2



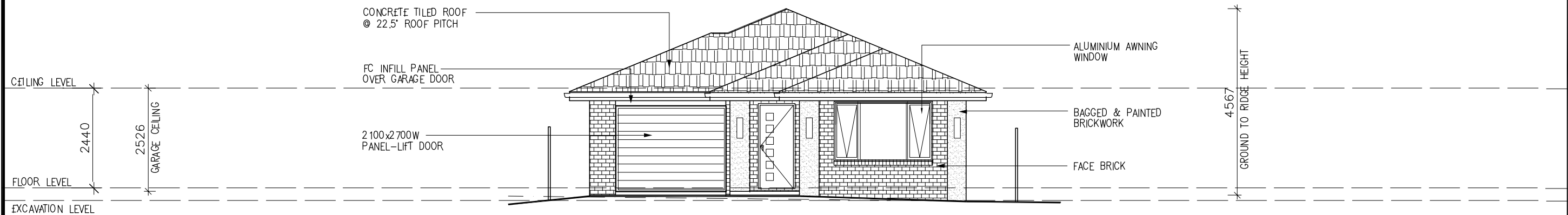
Certificate no.: 0002364090  
Assessor Name: Gavin Chambers  
Accreditation no.: VIC/BDAY/13/1491  
Certificate date: 09 January 2018  
Dwelling Address: 106 New England Highway Rutherford, NSW 2320  
www.nathers.gov.au



 PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT	PLANS BY		F	12.09.2017	RE-DESIGN UNIT 1, 6 UNITS TOTAL	 Quality Masterbuilt Homes LICENCE No 97781G PHONE: (02) 4934 8910	CLIENT ANAMBAH CONSTRUCTIONS		PROJECT PROPOSED MEDIUM DENSITY DEVELOPMENT			
			E	05.06.2017	ADD A/C		SITE ADDRESS LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320		DRAWN AP 04.11.2015		CHECK:	SCALE 1:100
			D	30.03.2017	RE POSITION UNITS 6 & 7				JOB No. <b>143/15</b>		REV. <b>F</b>	SHEET <b>37/43</b>
			A	04.11.2015	ISSUED FOR CONSTRUCTION							
			REV.	DATE	DESCRIPTION							



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SOUTHERN ELEVATION




EASTERN ELEVATION

## UNIT 6 ELEVATIONS



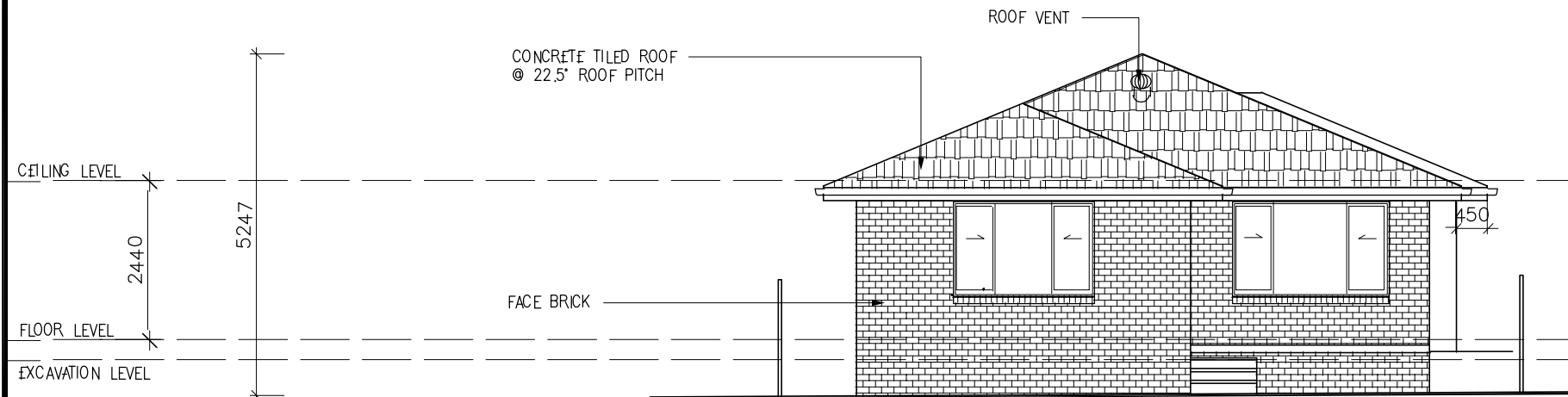
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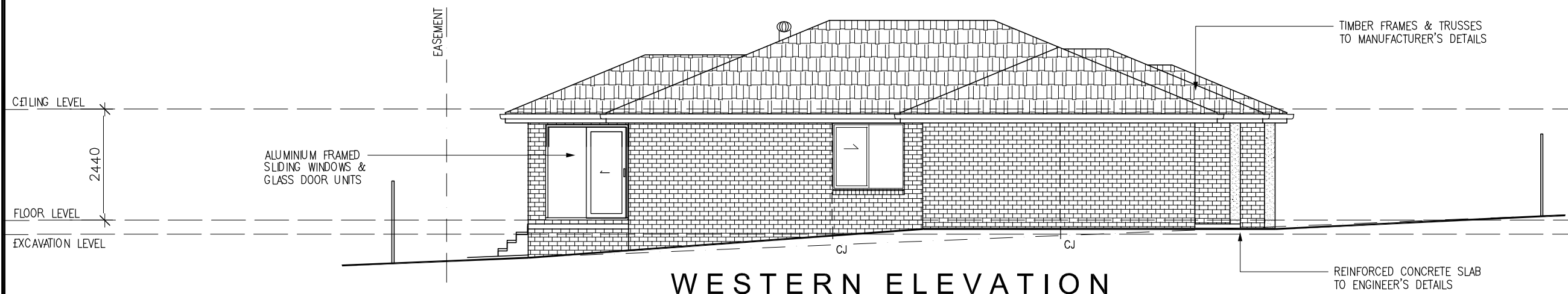
PLANS BY			CLIENT			PROJECT		
 PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN DEVELOPMENT & ASSESSMENT			ANAMBAH CONSTRUCTIONS			PROPOSED MEDIUM DENSITY DEVELOPMENT		
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A 04.11.2015 ISSUED FOR CONSTRUCTION			106 NEW ENGLAND HWY			JOB No.	REV.	SHEET
REV. DATE DESCRIPTION			RUTHERFORD NSW 2320			143/15	F	38/43

**Anambah**  
Constructions  
Quality Masterbuilt Homes  
LICENCE No: 97781C  
PHONE: (02) 4934 8910

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE





NORTHERN ELEVATION



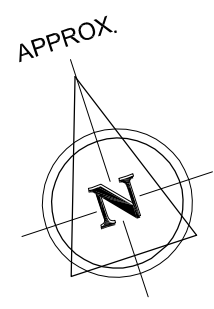
WESTERN ELEVATION

## UNIT 6 ELEVATIONS



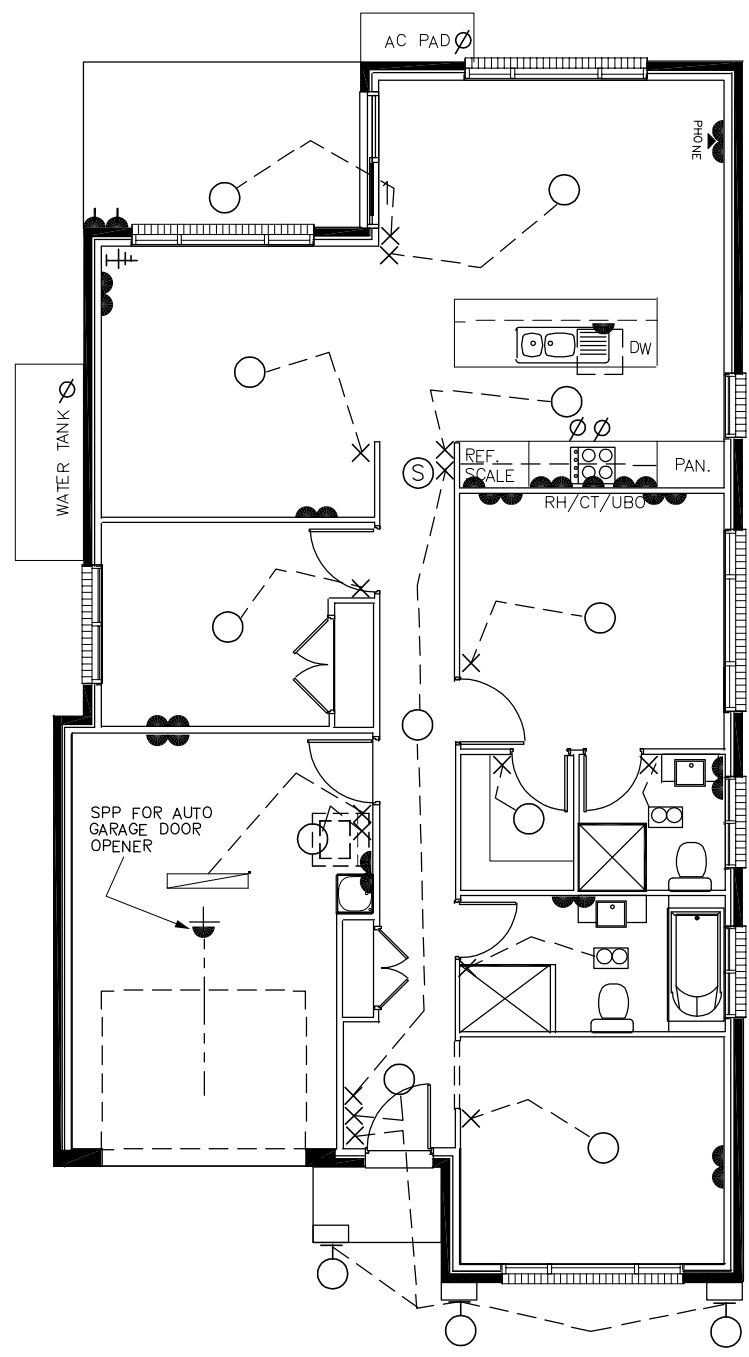
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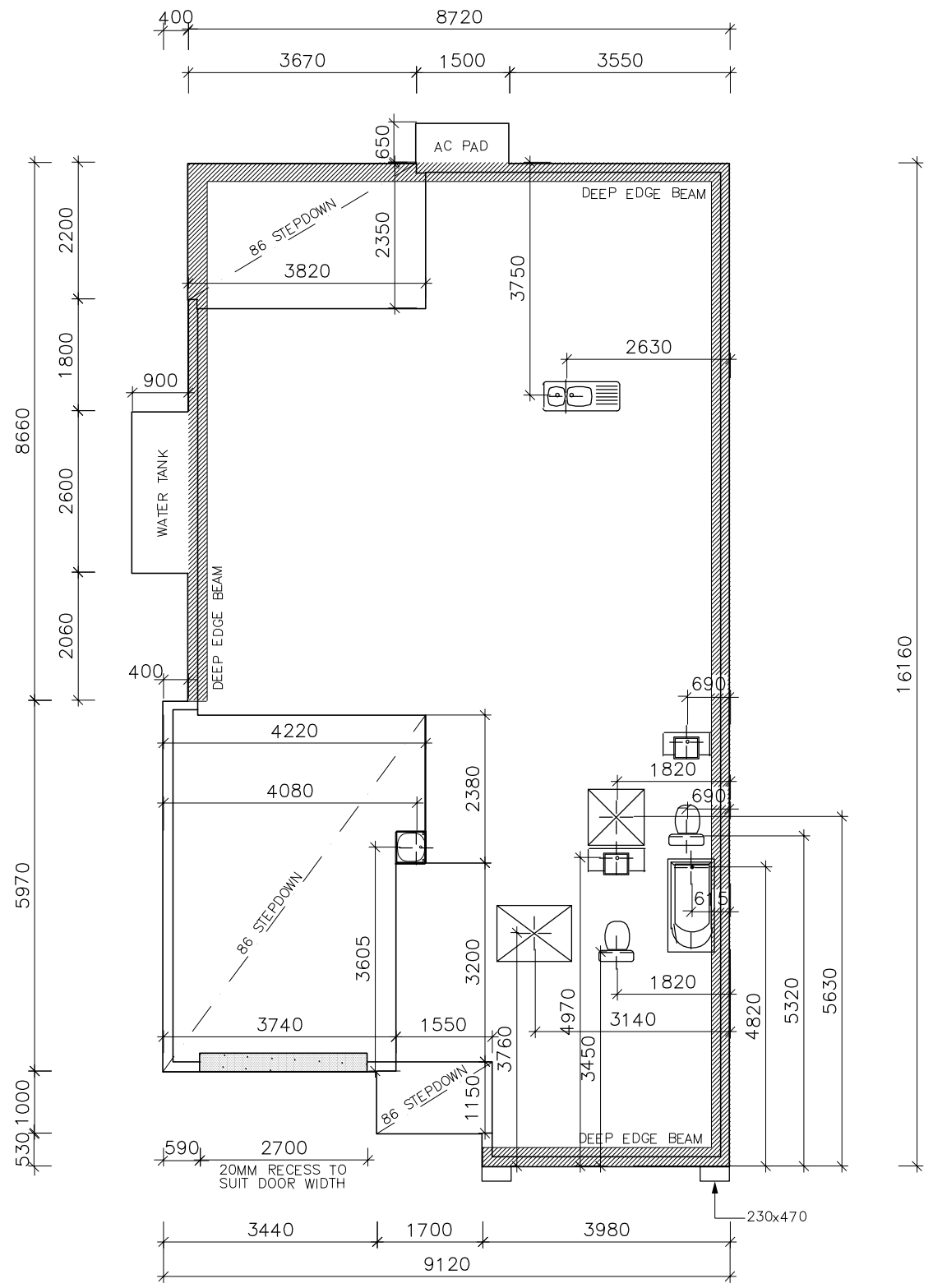
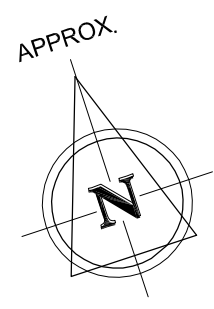
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- A/C AIR CONDITIONING



UNIT 6  
ELECTRICAL LAYOUT

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			D	30.03.2017	RE POSITION UNITS 6 & 7				106 NEW ENGLAND HWY		AP 04.11.2015			1:100
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			REV.	DATE	DESCRIPTION						143/15		F	40/43

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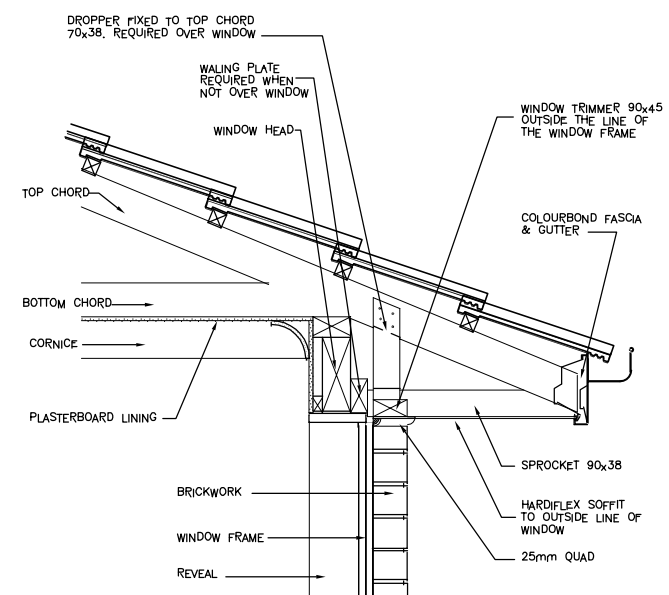
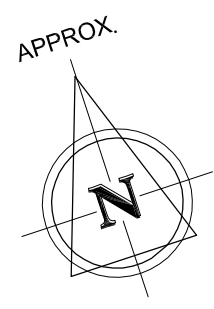


UNIT 6  
SLAB PLAN &  
PLUMBING LAYOUT

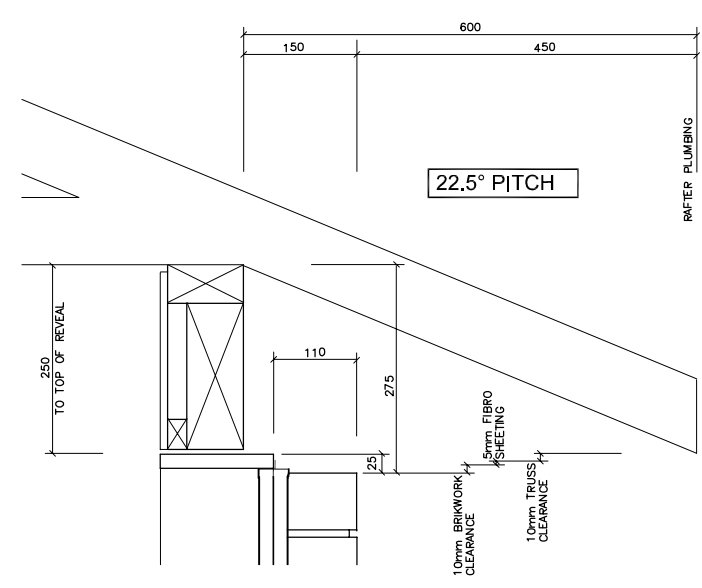
<div>PLANS BY</div> <div></div> <div>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</div>			<div></div> <div>Quality Masterbuilt Homes LICENCE No 97781C PHONE: (02) 4934 8910</div>			<div>CLIENT</div> <div>ANAMBAH CONSTRUCTIONS</div> <div>SITE ADDRESS</div> <div>LOT 3, DP 1226029 106 NEW ENGLAND HWY RUTHERFORD NSW 2320</div>			<div>PROJECT</div> <div>PROPOSED MEDIUM DENSITY DEVELOPMENT</div> <div>DRAWN</div> <div>AP 04.11.2015</div> <div>CHECK:</div> <div>SCALE</div> <div>1:100</div>			<div>JOB No.</div> <div>143/15</div> <div>REV.</div> <div>F</div> <div>SHEET</div> <div>41/43</div>														
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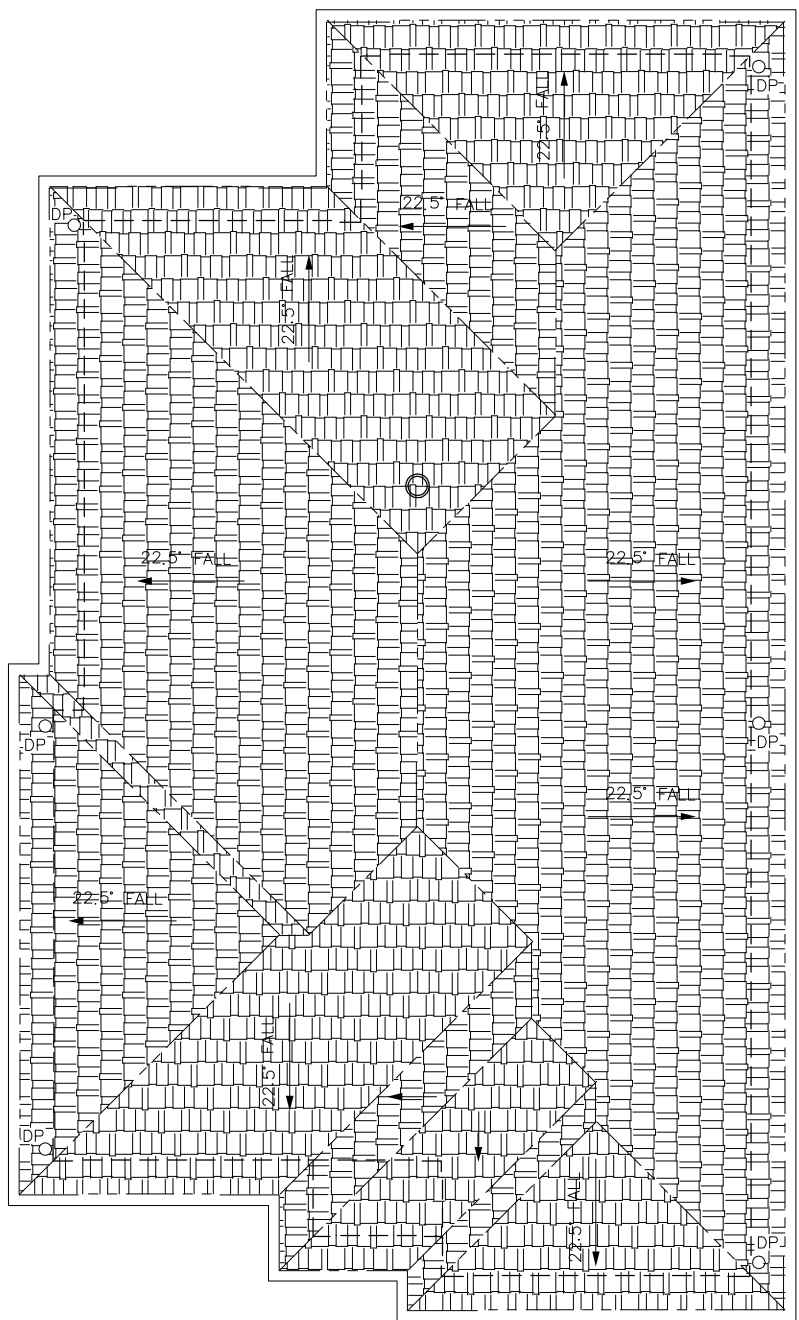
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EAVE DETAIL  
SCALE 1:20



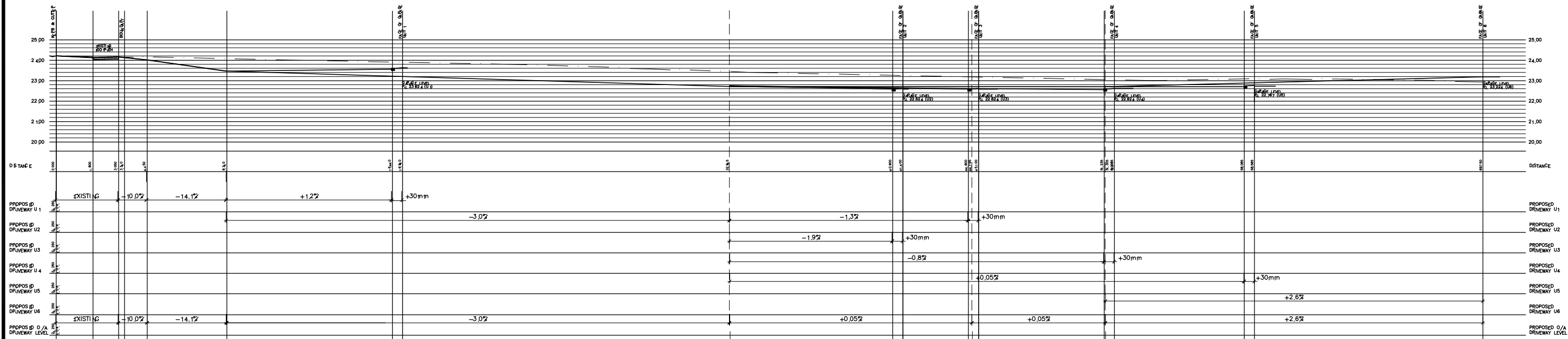
DROP-OFF DETAIL  
SCALE 1:10



UNIT 6  
ROOF PLAN

PLANS BY			<div>Anambah Constructions</div> <div>Quality Masterbuilt Homes</div> <div>LICENCE No 97781G</div> <div>PHONE: (02) 4934 8910</div>	CLIENT	PROJECT		
<div><div></div><div>urbanliving solutions</div></div>				ANAMBAH CONSTRUCTIONS	PROPOSED MEDIUM DENSITY DEVELOPMENT		
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REV.	DATE	DESCRIPTION					

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



## DRIVEWAY PROFILE

 0401 002 099 info@ecorate.com.au www.ecorate.com.au	<b>SUMMARY OF BASIX COMMITMENTS</b>	
	This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au	
The following specification details the requirements to achieve BASIX Compliance as indicated on the BASIX Report. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the build works. If you do not want to include these requirements, or need further information, please contact ecorate Australia immediately.		
<b>WATER COMMITMENTS</b>		
Fixtures		
3 Star Shower Heads	Yes	4.5-6.0L/min
4 Star Kitchen / Basin Taps	Yes	4 Star Toilet
Alternative Water		
Minimum Tank Size (L)	1500ea	Collected from Roof Area (m2)
100%		
Tank Connected To:		
All Toilets	Yes	Laundry W/M Cold Tap
One Outdoor Tap	Yes	
<b>THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans</b>		
<b>ENERGY COMMITMENTS</b>		
Hot Water	Gas Instantaneous - 5.5 Stars	
Cooling System	Living	None
	Bedrooms	None
Heating System	Living	None
	Bedrooms	None
Ventilation	Bathroom	H1 Fan not ducted
	Ensuite	H1 Fan not ducted
	Kitchen	H1 Fan not ducted
	Laundry	H1 Fan not ducted
Natural Lighting	House 1	House 2
Window/Skylight in Kitchen	Yes	Yes
Window/Skylight in Bathrooms/Toilets	Yes	Yes
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	N/a
	Number of Living/Dining rooms	N/a
	Kitchen	N/a
	All Bathrooms/Toilets	N/a
	Laundry	N/a
	All Hallways	N/a
<b>OTHER COMMITMENTS</b>		
Outdoor clothes line	Yes	Ventilated refrigerator space
Stove/Oven	Gas cooktop & electric oven	No




BASIX Help Line: 1300 650 968  
Weekdays: 9:00am - 5:00pm  
Email: basix@epb.nsw.gov.au

epb.nsw.gov.au  
Department of Planning & Environment  
23-33 Bridge Street, Sydney NSW 2000  
GPO Box 39, Sydney NSW 2001



December 2017		BSA Reference: 12294		
Building Sustainability Assessments		Ph: (02) 4962 3439		
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au		
Important Note				
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification.				
If different construction elements are applied then the Assessor Certificate is no longer valid.				
Thermal Performance Specifications (does not apply to garage)				
External Wall Construction		Added Insulation		
Brick Veneer & Lightweight		R1.5		
Internal Wall Construction		Added Insulation		
Plasterboard on studs		none		
Ceiling Construction		Added Insulation		
Plasterboard		R3.5 to ceilings adjacent to roof space		
Roof Construction		Colour	Added Insulation	
Tile		Any	none	
Floor Construction		Covering	Added Insulation	
Concrete		As drawn	none	
Windows	Glass and frame type	U Value	SHGC Range	Area sq m
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63	As drawn
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77	As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors				
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers				
Skylights	Glass and frame type	U Value	SHGC	Area sq m
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified				
External Window Shading		(eaves, verandahs, pergolas, awnings etc)		
All shade elements modelled as drawn				
Ceiling Penetrations		(downlights, exhaust fans, flues etc)		
No adjustment has been made for losses to insulation arising from ceiling penetrations.				

<div><p>PO Box 648 Vaucland NSW 2320 - V: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p><p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p></div>		PLANS BY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
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Anambah  
Constructions  
Quality Masterbuilt Homes  
LICENCE No: 97781C  
PHONE: (02) 4934 8910